

MISSION STATEMENT

The mission of the Sedro-Woolley City government is to provide selected services that are not traditionally offered by the private sector. This will be achieved through providing the highest quality services we can within the resources with which we're provided; involving residents in all aspects of planning and operations; serving as a clearinghouse for public information; and operating facilities which meet the legitimate, identified concerns of the residents of and visitors to our community.

We believe in being community-centered, consistently contributing to the quality of life in our area and as fully deserving of the public's trust through the consistent expression of positive values and acceptance of accountability for producing meaningful results.

CITY COUNCIL AGENDA

August 22, 2007

7:00 PM

Sedro-Woolley Community Center
703 Pacific Street

1. Call to Order
2. Pledge of Allegiance
3. Consent Calendar

NOTE: Agenda items on the Consent Calendar are considered routine in nature and may be adopted by the Council by a single motion, unless any Councilmember wishes an item to be removed. The Council on the regular agenda will consider any item so removed after the Consent Calendar.

- a. Minutes from Previous Meeting (Including August 7, 2007 Work Session)
 - b. Finance
 - Claim Vouchers #61151 to #61294 for \$598,481.96 (Voided Warrant #61152)
 - Payroll Warrants #40797 to #40898 for \$156,737.53
 - c. Waiver of Fees - Community Center - NAMI Skagit - Misc. Sept-Dec 2007 Dates
 - d. Waiver of Fees - Community Center - Sedro-Woolley Little League - Sept 10, 2007
 - e. Street Closure Request - Founders' Day - Sept 8, 2007 & Riverfront Park - Sept 9, 2007
 - f. Agreement - Fire & EMS and Joint Operation of Facilities with Fire Dist No.8
4. Proclamation - United Way
 5. Public Comment (Please limit your comments to 3-5 minutes)
 6. Presentation by Skagit County Health Dept Re: Medical Reserve Corps
 - a. Proclamation - Skagit County Medical Reserve Corps Week, August 25-31, 2007

UNFINISHED BUSINESS

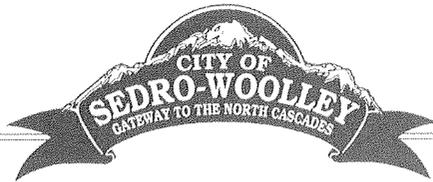
7. City Hall Update
8. Building Department Report on Bingham Park Office Remodel
9. Ordinance - Adoption of the "Optional Municipal Code", RCW 35A (Noncharter Code City)

NEW BUSINESS

10. Annual Comprehensive Plan Update - Adolf Bucko Rezone Request
11. F&S Grade Road Alignment (Interlocal with the City of Anacortes & Scope/Task Order with Reichart & Ebe for Construction Management Services)
12. Hwy 20 Sewer Improvements Bid Package
13. Resolution - Authorizing the Sedro-Woolley School District to use a portion of Nelson Street Right-of-Way to construct a fence
14. Resolution - Declaring certain property as surplus and authorizing its disposition

COMMITTEE REPORTS AND REPORTS FROM OFFICERS

EXECUTIVE SESSION/YES



DATE: August 22, 2007

TO: Mayor Anderson and City Council

FROM: Patsy Nelson, Clerk-Treasurer

SUBJECT: 1) CALL TO ORDER; 2) PLEDGE OF ALLEGIANCE; 3) CONSENT CALENDAR

1. CALL TO ORDER - The Mayor will call the August 22, 2007 Regular Meeting to Order. The Clerk-Treasurer will note those in attendance and those absent.

____ Ward 1 Councilmember Ted Meamber

____ Ward 2 Councilmember Tony Splane

____ Ward 3 Councilmember Louie Requa

____ Ward 4 Councilmember Pat Colgan

____ Ward 5 Councilmember Hugh Galbraith

____ Ward 6 Councilmember Rick Lemley

____ At-Large Councilmember Dennis London

2. PLEDGE OF ALLEGIANCE - The Mayor will lead the City Council and citizens in the Pledge of Allegiance to the United States of America.
3. CONSENT CALENDAR - Mayor will ask for Council approval of Consent Calendar items.

CITY OF SEDRO-WOOLLEY

Work Session of the City Council
August 7, 2007 – 7:00 P.M. – Public Safety Building

The Work Session was called to order at 7:00 P.M.

ROLL CALL: Present: Mayor Mike Anderson, Councilmembers: Ted Meamber, Tony Splane, Louis Requa, Pat Colgan, Hugh Galbraith, Rick Lemley and Dennis London. Staff: City Supervisor/Attorney Berg, Clerk/Treasurer Nelson, Planner Moore, Shane Walley (Public Lands), Nathan Salseina (Public Lands), Lt. Tucker (Police), Debbie Allen (Waste Water), Leo Jacobs (Solid Waste).

- **Skagit County Wide UGA Open Space & Trails Program**
Jeroldine Hallberg and Tom Beckwith gave a presentation of open space which discussed the gaps in connecting open space within Skagit County, protection of open space, survey results and the next steps in the program.
- **2008 Budget Process Goals**
Council Long-Term Goals/Vision – Discussion ensued regarding the avenues Council wished to see the City progress which included areas that would affect each department within the City in order to maintain the quality of living and expectation of the public for the City of Sedro-Woolley.
- **2008 Goals for Staff/Departments**
Department heads reviewed highlights of their written goals and commitment to the citizens of the City of Sedro-Woolley to provide quality services within the budget set forth by the Council.
- **Council Retreat**
A Council retreat for sometime in August was entertained. Further discussion will take place at the next Council meeting.

The worksession adjourned at 9:24 P.M.

CITY OF SEDRO-WOOLLEY

Regular Meeting of the City Council
August 8, 2007 – 7:00 P.M. – Community Center

The Meeting was called to order at 7:00 P.M.

Pledge of Allegiance

ROLL CALL: Present: Mayor Mike Anderson, Councilmembers: Ted Meamber, Tony Splane, Louis Requa, Pat Colgan, Hugh Galbraith, Rick Lemely and Dennis London. Staff: Recorder Brue, City Supervisor/Attorney Berg, Assoc. Planner Coleman, Lt. Tucker and Asst. Fire Chief Olson.

Consent Calendar

- Minutes from Previous Meeting
- Finance
 - Claim Vouches #61044 to #61150 for \$179,354.59
 - Payroll Warrants #40696 to #40796 for \$222,120.27
- Waiver of Fees – Riverfront Park – Sedro-Woolley Senior Center – Sept. 13, 2007
- Department of Homeland Security Grant
- Professional Services Agreement – GIS On-Call Services
- 2007 Lodging Tax Advisory Committee Appointments (Resolution #753-07)
- Joint Purchasing Interlocal Agreement with Fire District No. 15

Councilmember Meamber moved to approve the consent calendar. Seconded by Councilmember Splane. Motion carried (7-0).

Swearing In of New Planning Commissioner – Brett Sandstrom

Mayor Anderson administered the Oath of Office to Brett Sandstrom for the position of Planning Commissioner.

Swearing In of Code Enforcement Officer – Michelle Miner

Mayor Anderson administered the Oath of Office to Michelle Miner for the position of Code Enforcement Officer.

Councilmember Meamber moved to confirm Brett Sandstrom to the Planning Commission. Councilmember Requa seconded. Motion carried (7-0).

Public Comment

Joe Caldwell – 426 Jameson St., addressed the Council regarding the proposed Recycling Center. He noted it is difficult to get a straight story and requested clarification. He also spoke regarding placement of the proper type of business next to the High School.

David Bricka – 9343 Claybrook Rd., representing the Chamber of Commerce, thanked Mayor Anderson and Council for the use of Hammer Heritage Square for the Sample of Sedro-Woolley. Bricka gave praise to the Parks personnel for their help and upkeep of the square.

Flood Presentation by Larry Kunzler

Mayor Anderson introduced Larry Kunzler, a local resident and a recognized historian who has worked on the Skagit River flood issue for the past 30 years. Kunzler, a private citizen presented a power point presentation on “Plan B” an alternative program for flood control and the future of Skagit County.

PUBLIC HEARINGS

None

UNFINISHED BUSINESS

City Hall Update

Attorney Berg reported that progress on the City Hall is going well. He noted pending issues with progress being made on the PSE pole at the entrance, generator and FF & E. He also spoke on the selection of a phone system and the use of phone vendors vs. use of a telecommunications consultant. Berg reviewed a change order request to include pending and approved modifications.

Councilmember Requa moved to authorize the Mayor to sign change order #1 in the amount of \$42,217.33. Seconded by Councilmember Colgan. Motion carried (7-0).

Ordinance – adding new sections to SWMC 10.44 Regarding No Parking and Permit Parking Zones (2nd Reading)

Attorney Berg reviewed the proposed ordinance regarding no parking and permit parking zones.

Joe Parker – 425 Bennett St., questioned the posted tow away zone at the vehicle owner’s expense and what happens for special events such as a funeral reception that would bring a temporary influx of parking needs.

Joe Caldwell – 426 Jameson St., stated that the High School needs to provide parking for the students in order to be a good neighbor. He also requested more stop signs be placed along Jameson.

Bobbie Christensen – 1120 Third Street, questioned parking on Walley and Third Streets.

Chris Bulcroft – 1110 Third Street, noted she is a 20 year resident and has not had any problems. She spoke against imposing such an ordinance and stated she liked the interaction with the students.

Brett Sandstrom – 432 Talcott St., stated he is not opposed to permit parking but cautioned that as students are rushing to school and perhaps being more reckless, Sandstrom suggested putting more stop signs in an effort to slow them down.

Linda Morgan – 413 Talcott St., expressed concern of imposing the ordinance which might lead to the High School to request more parking lots. She opposed having the grass area on 4th Street turned into more parking. Morgan spoke of past history with the School District and removal of homes for parking.

Councilmember Lemley noted on Talcott Street from 3rd to 6th Street there is already “No Parking” on the North side of Talcott.

Mike Riddle – School District representative, addressed the Council and noted the school’s support of the ordinance. Riddle stated they realize the mix of feelings regarding parking and the request is in answer to the neighbors in the immediate area of the High School. He also stated that if it is not expanded to a larger base the problem will only move the more chronic problem to the next block out. The purpose of the permitting perimeter is to ensure that it is easier for the students to use the parking on site.

Discussion ensued to include growth and use of existing property, staff parking and notification of students for enforcement.

Mike Schweigert – Principal at Sedro-Woolley High School, addressed the Council on the parking ordinance. He noted the ordinance would allow them to keep the students vehicles more secure and in designated areas to have better control. He also addressed communication with the students in notification of the new rules.

Discussion ensued as to permitting of vehicles, students vs. residents and parent pick up.

Glenn Allen – 316 Talcott St., stated he hoped the enforcement people will use some discretion and good judgment.

Mike Schweigert – discussed the student enforcement of parking, the safety and security issue of off street parking for students and access in student parking lot.

Kim Morgan – 413 Talcott St., spoke of past history of the placement of the parking lot on 4th street and requested assurance that the high school will not develop any more parking lots within the residential area. Morgan requested something in writing.

Morgan was directed to go to the school board. He noted he did not want to deal with the school board due to a lack of distrust.

Attorney Berg indicated that his request was not something the City could provide. A current Council can not provide a written declaration about a neighboring agency's future use as it would be problematic both from the standpoint of the planning and permitting process and from the other agency's decision making process. He noted it's beyond the Council's authority to do.

Morgan noted his disappointment.

Linda Morgan – again to the podium, spoke of the previous zoning and the rezone of the property once the school purchased the property. She noted she would rather have the students park in front of her house than to have the school make the grass area into a parking lot.

Council discussion ensued regarding the Janicki request within the parking ordinance to include notification of affected properties, requested route for transporting super loads and alternate routes.

Ray Knuth – 510 Northern Ave, addressed Council regarding the residential area with constant traffic on Northern. He suggested “No Parking” on the east side of Metcalf Street.

Councilmember Galbraith moved to adopt Ordinance #1581-07 An Ordinance Adding New Sections to SWMC 10.44 Regarding No Parking and Permit Parking Zones. Councilmember Lemley seconded. Motion carried (7-0).

NEW BUSINESS

Request to purchase land from City by Jameson Avenue LLC

Councilmember Requa recused himself from this topic due to a conflict of interest and left the Council bench.

Attorney Berg reminded Council that conversation of value of real estate is appropriate for Executive Session.

Berg reviewed the request by Land Title Company on behalf of Jameson Avenue LLC in an effort to obtain a small piece of apparently City-owned land. Berg noted the property is next to the Tree Source property that was recently sold and they are utilizing the Tree Source appraisal for the basis of price.

Discussion ensued to include density of property under a Conditional Use permit, acquisition of property would enable to have a better project and parking spaces.

Council consensus was to discuss further in Executive Session as the public discussion of this sale could lower the price the City would receive.

Councilmember Requa rejoined the Council bench.

Professional Services Agreement – Architectural Services for Bingham Parks Facility

Attorney Berg reviewed a request from the Parks Department for establishing the new Parks headquarters at Bingham Park and to retain architectural services for the purpose of renovating the old food bank building with Mark E. Christ, Architect.

Discussion ensued regarding potential design, involvement of the committee, existing structure and review of structure by Building Official and Building Inspector.

Councilmember Meamber moved to table the Bingham Park architectural services until the August 22, 2007 meeting. Seconded by Councilmember Galbraith. Motion carried (7-0).

Award of Bid – Senior Center Roof

Attorney Berg reviewed the bids for the Senior Center. Staff recommendation is to authorize the Mayor to sign the contract with the apparent low bidder and request a budget amendment to reflect the expense.

Discussion ensued to include bid process and City staff tearing off existing roof.

Councilmember Requa moved to authorize the Mayor to sign a contract to re-roof the senior center with the apparent lowest bidder and request a budget amendment to reflect this expense. Councilmember London seconded. Motion carried (5-2) (Councilmembers Galbraith and Meamber opposed).

Township Sewer Improvements – Reichhardt & Ebe Engineering (*additional task orders*)

Attorney Berg reviewed the request for a two phase project to bring sewer up Highway 9. Berg noted phase one is anticipated to include Polte Road to McGargile and phase two from McGargile to Bassett. Berg cautioned Council that there is currently no plan to pay back any debt that would be part of any funding package. There are funds available to pay for the PS & E.

Council discussion ensued to include the importance of moving on with lifting the moratorium, sidewalk project up Highway 9 and the importance of proper planning.

Councilmember Requa moved to authorize Reichhardt & Ebe Engineerings, Inc. to proceed with the two attached scopes for sewer improvements on Township St. Councilmember Splane seconded. Motion carried. (7-0).

COMMITTEE REPORTS AND REPORTS FROM OFFICERS

Lt. Tucker – stated with the passage of the Parking ordinance they will be working closely with the residents and the school to make sure everything goes well.

Asst. Fire Chief Olson – announced the recent Fire Fighter competition raised \$3,000.00 and first aid kits were purchased for all the firemen.

Attorney Berg – announced that on September 11, 2007 the City will hold a McGargile Open House for the public to view the preliminary road alignment. Notices will be sent to those along McGargile Road.

Berg also reported several recent incidences regarding the Community Center that have resulted in damage to the extent of the deposit being retained. Berg on behalf of the Parks Department requested there be a temporary moratorium on the use of alcohol until another proposal can be considered or to institute an increase the damage deposit.

Councilmember Galbraith moved to refuse alcohol in the Community Center beginning August 9, 2007 until time to come up with a plan to resolve the issues. Seconded by Councilmember Meamber. Motion carried (7-0).

Berg reviewed information on the Hodgin Street alignment regarding the skew in the road. Currently it is not part of the plan to omit the skew. Berg suggested to Council that an alternate location be looked at for the Cook/Highway 20 connection. He noted now would be the time to do so if there is interest.

He also reported as a result of a question regarding the Council at Large position within a Code City he noted the answer he received from Municipal Research was the first election after the adoption of the code would continue to be a two year term and every election thereafter would be a four year term.

Discussion was held regarding scheduling options of a Saturday retreat, adding an additional worksession evening or adding time to an existing date already scheduled in order to review Council goals. The September 4, 2007 worksession was modified to start at 5:00 P.M. and will go until 9:00 P.M.

Berg also reported on a follow up on the F&S and Highway 20 project regarding an urgent request to WSDOT for a consultation on the location of an intersection. A meeting has been set up for Friday to review options.

Councilmember Lemley – thanked Lt. Tucker and the Police Department for their help with a large funeral procession that they recently had.

Councilmember Colgan – thanked the Council for their action on the Parking Ordinance. He noted he has received a lot of complaints from local residents.

Councilmember Requa – announced an upcoming meeting regarding support for a branch campus at McIntyre Hall, open to the public. Requa encouraged everyone to attend.

Councilmember Meamber – passed on a thank you from a citizen regarding the closure of the “compound” on Borseth Street.

EXECUTIVE SESSION

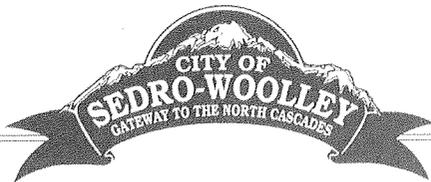
The meeting adjourned to executive session at 9:35 P.M. for approximately 20 minutes for the purpose of Personnel and Real Estate with possible action following.

The meeting reconvened at 10:06 P.M.

Councilmember Meamber moved to authorize the Mayor to sign conveyance documents to sell the real estate identified in the Land Title proposal in exchange for \$4,000.00. Seconded by Councilmember Galbraith. Motion carried. (6-0, Councilmember Requa abstained).

Councilmember Galbraith moved to adjourn. Seconded by Councilmember Colgan. Motion carried.

The meeting adjourned at 10:08 P.M.



DATE: August 22, 2007
TO: Mayor Anderson and City Council
FROM: Patsy Nelson, Clerk-Treasurer
SUBJECT: FINANCE - VOUCHERS

Attached you will find the Claim Vouchers proposed for payment for the period ending August 22, 2007.

Motion to approve Claim Vouchers #61151 to #61294 in the amount of \$598,481.96. (Voided Warrant #61152)

Motion to approve Payroll Warrants #40797 to #40898 in the amount of \$156,737.53.

If you have any comments, questions or concerns, please contact me for information during the working day at 855-1661. This will allow me to look up the invoices that are stored in our office.

CITY OF SEDRO-WOOLLEY
 SORTED TRANSACTION WARRANT REGISTER
 08/22/2007 (Printed 08/17/2007 09:17)

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WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61151	SEDRO-WOOLLEY POSTMASTER	POSTAGE	SWR	323.18
		POSTAGE	SAN	323.18
		WARRANT TOTAL		646.36
61153	ASSOCIATION OF WA CITIES	RETIRED MEDICAL	PD	6,769.80
		WARRANT TOTAL		6,769.80
61154	SKAGIT COUNTY AUDITOR	MISC-FILING FEES/LIEN EXP	SWR	962.00
		MISC-FILING FEES/LIEN EXP	SAN	882.00
		WARRANT TOTAL		1,844.00
61155	ALL-PHASE ELECTRIC	MAINTENANCE OF BUILDINGS	SWR	88.20
		WARRANT TOTAL		88.20
61156	ALPINE FIRE & SAFETY	SUPPLIES	JUD	42.93
		REPAIRS/MAINTENANCE BLDG.	LIB	54.05
		OPERATING SUPPLIES	PL	76.84
		OPERATING SUPPLIES	PL	44.39
		SAFETY EQUIPMENT	PL	48.60
		OPERATING SUPPLIES	SWR	98.12
		WARRANT TOTAL		364.93
61157	A.S.A.P. SIGN & DESIGN	PROFESSIONAL SERVICES	PL	1,166.40
		WARRANT TOTAL		1,166.40
61158	ASSOCIATION OF WA CITIES	RETIRED MEDICAL	PD	6,769.80
		WARRANT TOTAL		6,769.80
61159	ASSOC PETROLEUM PRODUCTS	AUTO FUEL	CS	104.05
		AUTO FUEL	CS	96.03
		AUTO FUEL	PD	1,261.61
		AUTO FUEL/DIESEL	FD	392.53
		OPERATING SUPPLIES	PL	55.23
		VEHICLE FUEL / DIESEL		423.45
		VEHICLE FUEL / DIESEL		740.06
		VEHICLE FUEL / DIESEL		592.03
		VEHICLE FUEL / DIESEL		144.47
		VEHICLE FUEL / DIESEL		100.60
		AUTO FUEL/DIESEL	SWR	383.28
		AUTO FUEL/DIESEL	SWR	791.61
		AUTO FUEL/DIESEL	SAN	2,042.98
		WARRANT TOTAL		7,127.93
61160	CINGULAR WIRELESS	TELEPHONE	PD	718.72
		WARRANT TOTAL		718.72
61161	BALDWIN COOKE	PRINTING/PUBLICATIONS	PD	166.38
		WARRANT TOTAL		166.38
61162	BANK OF AMERICA	TRAVEL	PLN	333.00
		OFFICE/OPERATING SUPPLIES	PD	44.14
		OFFICE SUPPLIES	SWR	18.34

CITY OF SEDRO-WOOLLEY
 SORTED TRANSACTION WARRANT REGISTER
 08/22/2007 (Printed 08/17/2007 09:17)

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
		WARRANT TOTAL		395.48
61163	BANK OF AMERICA	TRAVEL	LGL	41.48
		WARRANT TOTAL		41.48
61164	BARNETT IMPLEMENT CO. INC	OPERATING SUPPLIES	PL	5.18
		REPAIRS/MAINT - EQUIP	PL	43.46
		WARRANT TOTAL		48.64
61165	BAY CITY SUPPLY	OPERATING SUPPLIES	FD	162.19
		WARRANT TOTAL		162.19
61166	BERG VAULT COMPANY	LINERS	PL	1,520.00
		REPAIRS/MAINT-STORM DRAIN	PL	420.00
		WARRANT TOTAL		1,940.00
61167	BLUMENTHAL UNIFORM & EQUIP	UNIFORMS/ACCESSORIES	PD	220.30
		UNIFORMS/ACCESSORIES	PD	30.38
		UNIFORMS/ACCESSORIES	PD	25.05
		UNIFORMS/ACCESSORIES	PD	66.86
		WARRANT TOTAL		342.59
61168	BOUWENS, JENNIFER A.	PROSECUTING ATTY	JUD	2,500.00
		WARRANT TOTAL		2,500.00
61169	BRANON INSTRUMENT CO	MAINT OF GENERAL EQUIP	SWR	167.78
		WARRANT TOTAL		167.78
61170	BROWN & COLE STORES	REPAIRS/MAINT-DORM	FD	49.30
		WARRANT TOTAL		49.30
61171	BRIM TRACTOR COMPANY INC	REPAIRS/MAINT - EQUIP	PL	40.22
		WARRANT TOTAL		40.22
61172	CASCADE NATURAL GAS CORP.	PUBLIC UTILITIES	CS	87.61
		PUBLIC UTILITIES	FD	150.50
		PUBLIC UTILITIES	LIB	10.60
		PUBLIC UTILITIES	PL	43.01
		PUBLIC UTIL - COMM CENTER	PL	10.60
		PUBLIC UTIL - SENIOR CENTER	PL	45.28
		PUBLIC UTIL - FOOD BANK	PL	22.15
		PUBLIC UTIL - HHS	PL	15.74
		PUBLIC UTILITIES	SWR	45.93
		PUBLIC UTILITIES	SAN	59.37
		WARRANT TOTAL		490.79
61173	CENTRAL WELDING SUPPLY	OPERATING SUPPLIES	SAN	16.74
		WARRANT TOTAL		16.74
61174	CINTAS CORPORATION #460	UNIFORMS	FD	69.16
		WARRANT TOTAL		69.16

CITY OF SEDRO-WOOLLEY

SORTED TRANSACTION WARRANT REGISTER

08/22/2007 (Printed 08/17/2007 09:17)

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WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61175	CITIES INSURANCE ASSOC.	INSURANCE	PL	1,000.00
		WARRANT TOTAL		1,000.00
61176	CODE 4 PUBLIC SAFETY ED ASSOC	TUITION/REGISTRATION	PD	94.00
		WARRANT TOTAL		94.00
61177	COLE PUBLISHING, INC.	MISC-DUES/SUBSCRIPTIONS	SWR	25.00
		WARRANT TOTAL		25.00
61178	COLLINS OFFICE SUPPLY, INC	SUPPLIES	JUD	32.39
		SUPPLIES	JUD	10.24
		SUPPLIES/BOOKS	PLN	26.72
		SUPPLIES	ENG	26.71
		OFF/OPER SUPPS & BOOKS	INSP	26.71
		WARRANT TOTAL		122.77
61179	COLACURCIO BROTHERS, INC.	CONSTRUCTION	CH	163,358.36
		WARRANT TOTAL		163,358.36
61180	CONCRETE NOR'WEST, INC.	OPERATING SUPPLIES	PL	154.48
		WARRANT TOTAL		154.48
61181	COOK PAGING (WA)	TELEPHONE	FD	6.57
		WARRANT TOTAL		6.57
61182	COSTCO WHOLESALE	MISCELLANEOUS	FIN	50.00
		WARRANT TOTAL		50.00
61183	COSTECK, RON	ASSOCIATE'S FEES	JUD	150.00
		WARRANT TOTAL		150.00
61184	SKAGIT WEEKLY NEWS GROUP	PRINTING/PUBLICATIONS	PD	135.54
		WARRANT TOTAL		135.54
61185	CREIGHTON ENGINEERING INC	PROFESSIONAL SERVICES	FD	307.50
		WARRANT TOTAL		307.50
61186	CRYSTAL SPRINGS	SUPPLIES	LGS	31.96
		OPERATING SUPPLIES	CS	24.73
		OPERATING SUPPLIES	FD	37.90
		OPERATING SUPPLIES	PL	44.16
		OP. SUPPLIES - GOLF	PL	17.94
		OPERATING SUPPLIES	SWR	69.69
		OPERATING SUPPLIES	SAN	148.59
		WARRANT TOTAL		374.97
61187	CUES	MAINTENANCE OF LINES	SWR	332.39
		MAINTENANCE OF LINES	SWR	1,434.40
		MAINTENANCE OF LINES	SWR	1,645.79
		MAINTENANCE OF LINES	SWR	833.51
		WARRANT TOTAL		4,246.09

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61188	DALCO, INC	OPERATING SUPPLIES	SAN	58.32
		WARRANT TOTAL		58.32
61189	DATA BASE RECORDS DESTRUCTION LLC	PROFESSIONAL SERVICES	JUD	76.00
		SUPPLIES	FIN	38.00
		OFFICE/OPERATING SUPPLIES	PD	38.00
		WARRANT TOTAL		152.00
61190	EASY PICKER GOLF PRODUCTS INC.	OP. SUPPLIES - GOLF	PL	684.07
		WARRANT TOTAL		684.07
61191	E & E LUMBER	OPERATING SUPPLIES	PL	46.55
		OPERATING SUPPLIES	PL	46.73
		OPERATING SUPPLIES	PL	6.46
		OPERATING SUPPLIES	PL	1.62
		OPERATING SUPPLIES	PL	2.12
		OP. SUPPLIES - TRAFFIC	PL	13.23
		REPAIRS/MAINT - EQUIP	PL	50.26
		REPAIRS/MAINT - EQUIP	PL	59.35
		REPAIRS/MAINT-ST CLEANING	PL	11.43
		REPAIRS/MAINT-OFFICE EQUIP	PL	11.84
		REPAIRS/MAINT-OFFICE EQUIP	PL	2.46
		REPAIRS/MAINT-OFFICE EQUIP	PL	1.08
		REPAIRS/MAINT-COMM CENTER	PL	61.40
		REPAIRS/MAINT-SENIOR CENTER	PL	4.35
		REPAIRS/MAINT-SENIOR CENTER	PL	10.37
		REPAIRS/MAINT-HHS	PL	38.85
		REPAIRS/MAINT-HHS	PL	33.75
		REPAIRS/MAINT-HHS	PL	9.95
		MAINTENANCE OF BUILDINGS	SWR	57.48
		MAINTENANCE OF BUILDINGS	SWR	4.69
		MAINTENANCE OF BUILDINGS	SWR	118.81
		OPERATING SUPPLIES	SWR	19.83
		OPERATING SUPPLIES	SWR	7.39
		OPERATING SUPPLIES	SWR	5.24
		OPERATING SUPPLIES	SWR	26.55
		OPERATING SUPPLIES	SWR	.49
		OPERATING SUPPLIES	SWR	26.37
		OPERATING SUPPLIES	SAN	7.56
		WARRANT TOTAL		686.21
61192	EDASC	E.D.A.S.C.	DEV	2,000.00
		WARRANT TOTAL		2,000.00
61193	EASLEY GARAGE DOORS	MAINTENANCE OF BUILDINGS	SWR	2,754.00
		WARRANT TOTAL		2,754.00
61194	ENVIRONMENTAL ABATEMENT SVC. INC.	COMMUNITY CENTER	PL	6,657.66
		WARRANT TOTAL		6,657.66
61195	FEDERAL LICENSING INC.	OPERATING SUPPLIES	SWR	119.00
		WARRANT TOTAL		119.00

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61196	FEI #3023	MAINT OF GENERAL EQUIP	SWR	145.41
		WARRANT TOTAL		145.41
61197	FRONTIER BUILDING SUPPLY	REPAIRS/MAINT - EQUIP	PL	156.70
		WARRANT TOTAL		156.70
61198	GALL'S INC	UNIFORMS/ACCESSORIES	PD	113.89
		WARRANT TOTAL		113.89
61199	GEOTEST SERVICES, INC.	ARCHITECT & ENGINEERING	CH	180.00
		WARRANT TOTAL		180.00
61200	GLENN B. ALLEN AWARDS	OFFICE SUPPLIES	LGL	25.92
		PROFESSIONAL SERVICES	LGL	27.00
		OPERATING SUPPLIES	SWR	27.00
		WARRANT TOTAL		79.92
61201	GEN-X SIGNS & BANNERS	OPERATING SUPPLIES	SAN	324.00
		WARRANT TOTAL		324.00
61202	GREAT AMERICA LEASING COR	EQUIPMENT LEASES	CS	269.89
		EQUIPMENT LEASES	CS	308.99
		WARRANT TOTAL		578.88
61203	GUARDIAN SECURITY	FIRE/THEFT PROTECTION	FD	26.50
		REPAIRS/MAINTENANCE BLDG.	LIB	120.00
		REPAIRS/MAINT-COMM CENTER	PL	100.00
		WARRANT TOTAL		246.50
61204	GPS	TUITION/REGISTRATION	PD	100.00
		WARRANT TOTAL		100.00
61205	HAYDEN, PATRICK	PROFESSIONAL SERVICES	LGL	400.00
		WARRANT TOTAL		400.00
61206	HOLLAND HEALTH SERV. INC.	RETIRED MEDICAL	PD	152.00
		WARRANT TOTAL		152.00
61207	HONEY BUCKET	OPERATING SUPPLIES	PL	93.76
		OPERATING SUPPLIES	PL	72.70
		WARRANT TOTAL		166.46
61208	IKON FINANCIAL SERVICES	REPAIR/MAINTENANCE-EQUIP	LIB	180.80
		WARRANT TOTAL		180.80
61209	INGRAM LIBRARY SERVICES	BOOKS, PERIOD, RECORDS	LIB	37.39
		BOOKS, PERIOD, RECORDS	LIB	16.14
		BOOKS, PERIOD, RECORDS	LIB	16.14
		BOOKS, PERIOD, RECORDS	LIB	16.14
		BOOKS, PERIOD, RECORDS	LIB	37.69
		WARRANT TOTAL		123.50

CITY OF SEDRO-WOOLLEY

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WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61210	ISLAND CO. FPD #1	TUITION/REGISTRATION	FD	200.00
		WARRANT TOTAL		200.00
61211	ISOMEDIA.COM	TELEPHONE	FIN	8.74
		TELEPHONE	PLN	8.74
		TELEPHONE	ENG	8.74
		TELEPHONE	INSP	8.73
		TELEPHONE	LIB	39.95
		WARRANT TOTAL		74.90
61212	L N CURTIS & SONS	OPERATING SUPPLIES	FD	3,792.16
		WARRANT TOTAL		3,792.16
61213	LABCORP	PROFESSIONAL SERVICES	PD	51.50
		PROFESSIONAL SERVICES	FD	51.50
		PROFESSIONAL SERVICES	SWR	51.50
		WARRANT TOTAL		154.50
61214	LANGUAGE EXCH. INC. (THE)	LANGUAGE INTERPRETER	JUD	200.00
		WARRANT TOTAL		200.00
61215	LARRYS AUTO & TRUCK PARTS	SOLID WASTE DISPOSAL	SAN	238.00
		WARRANT TOTAL		238.00
61216	LAUNCHING SUCCESS LEARNING STORE	MISC-SUMMER READ PROGRAM	LIB	407.64
		WARRANT TOTAL		407.64
61217	LOGGERS AND CONTRACTORS	OPERATING SUPPLIES	PL	52.92
		OPERATING SUPPLIES	PL	234.77
		REPAIRS/MAINT-STREETS	PL	110.16
		OPERATING SUPPLIES	SWR	54.52
		WARRANT TOTAL		452.37
61218	MCCANN, WILLIAM R.	INDIGENT DEFEND CONTR	JUD	2,557.50
		WARRANT TOTAL		2,557.50
61219	LEXISNEXIS MATTHEW BENDER	CODE BOOK	LGS	1,407.88
		CODE BOOK	LGS	40.23
		WARRANT TOTAL		1,448.11
61220	MCILRATH, DAN	TUITION/REGISTRATION	PD	11.49
		WARRANT TOTAL		11.49
61221	MARTIN MARIETTA MATERIALS	REPAIRS/MAINT-STREETS	PL	1,003.55
		REPAIRS/MAINT-STREETS	PL	892.53
		REPAIRS/MAINT-STREETS	PL	604.12
		WARRANT TOTAL		2,500.20
61222	MINER, MICHELLE	SMALL TOOLS & EQUIPMENT	PD	52.91
		WARRANT TOTAL		52.91
61223	MOORE, JACK R.	TRAVEL	PLN	220.68

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
		WARRANT TOTAL		220.68
61224	MORTENSON SIGNS	REPAIRS/MAINT - EQUIP	PL	415.80
		REPAIRS/MAINT-EQUIP	SAN	254.77
		WARRANT TOTAL		670.57
61225	MOTOR TRUCKS, INC.	REPAIRS/MAINT - EQUIP	PL	25.32
		REPAIRS/MAINT-EQUIP	SAN	122.52
		WARRANT TOTAL		147.84
61226	NELSON, PATSY	MEALS/TRAVEL	FIN	236.66
		WARRANT TOTAL		236.66
61227	OASYS	REPAIR/MAINTENANCE	JUD	129.60
		WARRANT TOTAL		129.60
61228	OFFICE DEPOT	SUPPLIES	FIN	45.18
		OFFICE/OPERATING SUPPLIES	PD	265.85
		OFFICE SUPPLIES	SWR	48.80
		OPERATING SUPPLIES	SWR	41.68
		WARRANT TOTAL		401.51
61229	OLIVER-HAMMER CLOTHES	CLOTHING	SWR	66.92
		CLOTHING	SAN	47.57
		CLOTHING	SAN	32.74
		WARRANT TOTAL		147.23
61230	OVERALL LAUNDRY SERV INC	LAUNDRY	CS	27.19
		MISC-LAUNDRY	PL	64.78
		MISC-LAUNDRY	PL	17.96
		MISC-LAUNDRY	PL	49.04
		MISC-LAUNDRY	PL	21.24
		MISC-LAUNDRY	PL	17.34
		MISC-LAUNDRY	PL	15.12
		MISC-LAUNDRY	PL	17.96
		LAUNDRY	SWR	19.40
		WARRANT TOTAL		250.03
61231	OWEN EQUIPMENT COMPANY	REPAIRS/MAINT - EQUIP	PL	65.31
		WARRANT TOTAL		65.31
61232	PAPE MACHINERY	REPAIRS/MAINT - EQUIP	PL	27.75
		WARRANT TOTAL		27.75
61233	PAT RIMMER TIRE CTR, INC	REPAIRS/MAINT - EQUIP	PL	257.96
		REPAIRS/MAINT - EQUIP	PL	20.30
		REPAIRS/MAINT - EQUIP	PL	38.07
		REPAIRS/MAINT-EQUIP	SAN	493.81
		WARRANT TOTAL		810.14
61234	PC MAGAZINE	BOOKS, PERIOD, RECORDS	LIB	46.97
		WARRANT TOTAL		46.97

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61235	PETERSON, DEBRA	REPAIRS/MAINTENANCE BLDG.	LIB	215.99
		MISC-TUITION/REGISTRATION	LIB	19.00
		BOOKS, PERIOD, RECORDS	LIB	169.67
		WARRANT TOTAL		404.66
61236	PETTY CASH-DEBRA PETERSON	SUPPLIES	LIB	61.49
		BOOKS, PERIOD, RECORDS	LIB	25.87
		WARRANT TOTAL		87.36
61237	PHYSICIANS CARE FAMILY MEDICINE	PROFESSIONAL SERVICES	SWR	125.00
		WARRANT TOTAL		125.00
61238	PIONEER RESEARCH CORP.	REPAIRS/MAINT-STREETS	PL	2,640.30
		WARRANT TOTAL		2,640.30
61239	PREFERRED ENGINEERING, LLC	PROFESSIONAL SERVICES	ENG	1,366.01
		WARRANT TOTAL		1,366.01
61240	PUBLIC UTILITY DIS. NO.1	PUBLIC UTILITIES	CS	94.70
		PUBLIC UTILITIES	CS	36.40
		PUBLIC UTILITIES	FD	193.15
		PUBLIC UTILITIES	LIB	23.40
		PUBLIC UTILITIES	PL	466.93
		PUBLIC UTIL - CAMPGROUND	PL	1,119.59
		PUBLIC UTIL - HHS	PL	142.40
		PUBLIC UTILITIES	SWR	177.10
		PUBLIC UTILITIES	SAN	31.10
WARRANT TOTAL		2,284.77		
61241	PUGET SOUND ENERGY	PUBLIC UTIL - STREETLIGHTS	PL	6,640.71
		MAINT OF PUMPING EQUIP	SWR	4.26
		WARRANT TOTAL		6,644.97
61242	PURCHASE POWER	POSTAGE	JUD	335.70
		POSTAGE	FIN	216.26
		POSTAGE	LGL	8.57
		POSTAGE	PLN	321.83
		POSTAGE	ENG	42.99
		POSTAGE	FD	.58
		POSTAGE	INSP	17.60
		OFFICE SUPPLIES / POSTAGE	PL	12.63
		POSTAGE	SWR	129.42
		POSTAGE	SAN	129.42
WARRANT TOTAL		1,215.00		
61243	QUIRING MONUMENTS, INC.	LINERS	PL	75.00
		REPAIRS/MAINT-HEADSTONES	PL	115.00
		WARRANT TOTAL		190.00
61244	REICHHARDT & EBE ENG, INC	PROFESSIONAL SERVICES	ENG	2,759.64
		PROFESSIONAL SERVICES	ENG	1,300.83
		PROFESSIONAL SERVICES	ENG	4,600.73

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
		PROFESSIONAL SERVICES	ENG	8,245.06
		PROFESSIONAL SERVICES	ENG	292.22
		PROFES. SVCS. REIMBURSE	ENG	656.21
		PROFES. SVCS. REIMBURSE	ENG	117.10
		PROFES. SVCS. REIMBURSE	ENG	166.98
		PROFES. SVCS. REIMBURSE	ENG	1,847.42
		PROFES. SVCS. REIMBURSE	ENG	1,946.48
		PROFES. SVCS. REIMBURSE	ENG	585.86
		CONSTRUCTION-TOWNSHIP LINE	PWT	2,259.90
		ENGINEERING - SR20 LINE	PWT	74.77
		ENGINEERING - SR20 LINE	PWT	301.41
		ENGINEERING - METCALF LINE	PWT	969.34
		PROF SVS-ENGINEERING	SWR	6,607.69
		PROF SVS-ENGINEERING	SWR	94.79
		WARRANT TOTAL		32,826.43
61245	RELIABLE (OFFICE SUPPLY)	OFFICE/OPERATING SUPPLIES	PD	28.68
		OFFICE/OPERATING SUPPLIES	PD	43.03
		WARRANT TOTAL		14.35
61246	RICK'S REFRIGERATION INC.	MAINT OF GENERAL EQUIP	SWR	406.14
		WARRANT TOTAL		406.14
61247	RINKER MATERIALS	REPAIRS/MAINT-STREETS	PL	181.01
		REPAIRS/MAINT-STREETS	PL	89.91
		WARRANT TOTAL		270.92
61248	SCHOOL LIBRARY JOURNAL	BOOKS, PERIOD, RECORDS	LIB	129.99
		WARRANT TOTAL		129.99
61249	SEDRO-WOOLLEY AUTO PARTS	OFFICE/OPERATING SUPPLIES	PD	6.44
		REPAIRS/MAINT-EQUIP	FD	29.56
		OPERATING SUPPLIES	PL	27.70
		OPERATING SUPPLIES	PL	3.56
		OPERATING SUPPLIES	PL	26.05
		REPAIRS/MAINT - EQUIP	PL	14.03
		REPAIRS/MAINT - EQUIP	PL	11.45
		REPAIRS/MAINT - EQUIP	PL	43.53
		OPERATING SUPPLIES	SWR	42.12
		WARRANT TOTAL		204.44
61250	SEDRO-WOOLLEY FAMILY	PROFESSIONAL SERVICES	SWR	112.00
		WARRANT TOTAL		112.00
61251	SEDRO-WOOLLEY SCHOOL DIST	SCHOOL GMA IMPACT FEES		4,020.00
		WARRANT TOTAL		4,020.00
61252	SHAKESPEARE NORTHWEST	MISC-SUMMER READ PROGRAM	LIB	48.75
		WARRANT TOTAL		48.75
61253	SIGNATURE FORMS INC.	PS - Stormwater		414.87
		OPERATING SUPPLIES	SWR	180.00

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WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
		OFFICE SUPPLIES	SAN	180.00
		WARRANT TOTAL		774.87
61254	SK. CO. COM ACTION AGENCY	SK. COMM ACTION PUBL HLTH	HLT	277.88
		WARRANT TOTAL		277.88
61255	SKAGIT CO HEALTH DEPT	SK. COMM ACTION PUBL HLTH	HLT	250.00
		WARRANT TOTAL		250.00
61256	SKAGIT CO. PUBLIC WORKS	SOLID WASTE DISPOSAL	SAN	39,079.49
		WARRANT TOTAL		39,079.49
61257	SKAGIT CO. PUBLIC WORKS	REPAIRS/MAINT-STREETS	PL	6,589.40
		WARRANT TOTAL		6,589.40
61258	SKAGIT FARMERS SUPPLY	OPERATING SUPPLIES	PL	5.39
		OPERATING SUPPLIES	PL	5.39
		OP. SUPPLIES - ST CLEANING	PL	5.16
		OP. SUPPLIES - GOLF	PL	35.63
		OP. SUPPLIES - GOLF	PL	43.19
		PROPANE	PL	22.94
		PROPANE	PL	18.45
		REPAIRS/MAINT - EQUIP	PL	.85
		OTHER IMPROVEMENTS	PL	64.77
		MAINTENANCE OF LINES	SWR	58.26
		WARRANT TOTAL		260.03
61259	SKAGIT HYDRAULICS, INC.	REPAIRS/MAINT - EQUIP	PL	167.00
		WARRANT TOTAL		167.00
61260	SKAGIT READY MIX, INC.	OP. SUPPLIES - SIDEWALKS	PL	623.16
		REPAIRS/MAINT-STREETS	PL	404.87
		MAINTENANCE OF BUILDINGS	SWR	928.80
		WARRANT TOTAL		1,956.83
61261	SKAGIT COUNTY HUMAN SVC.	SKAGIT COUNCIL ON ALCOHOL	ALC	3,481.68
		WARRANT TOTAL		3,481.68
61262	SKAGIT VALLEY PUBLISHING	LEGAL PUBLICATIONS	LGS	25.65
		ADVERTISING/LEGAL PUBLIC	PLN	45.60
		ADVERTISING/LEGAL PUBLIC	PLN	48.45
		ADVERTISING	ENG	128.25
		WARRANT TOTAL		247.95
61263	SOLID WASTE SYSTEMS, INC.	CONTAINERS	SAN	3,467.82
		WARRANT TOTAL		3,467.82
61264	SPARKLE SHOP LAUNDRIES	UNIFORM CLEANING	PD	4.32
		WARRANT TOTAL		4.32
61265	STATEWIDE RENT-A-FENCE INC.	EQUIPMENT RENTAL	SWR	245.48
		WARRANT TOTAL		245.48

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61266	STILES & STILES	MUNICIPAL COURT JUDGE	JUD	2,728.00
		WARRANT TOTAL		2,728.00
61267	SUNDOWNER KUSTOM KLEANING	REPAIRS/MAINT-COMM CENTER	PL	848.00
		WARRANT TOTAL		848.00
61268	TAYLOR, PAUL	RETIRED MEDICAL	PD	23.04
		WARRANT TOTAL		23.04
61269	TORGGY'S CUSTOM	REPAIR & MAINT - AUTO	PD	270.00
		DUES/SUBSCRIPTIONS	PD	81.00
		WARRANT TOTAL		351.00
61270	TRAFFIC SAFETY SUPPLY CO.	OP. SUPPLIES - TRAFFIC	PL	519.52
		REPAIRS/MAINT-STREETS	PL	1,073.34
		WARRANT TOTAL		1,592.86
61271	TRUE VALUE	OFFICE/OPERATING SUPPLIES	PD	32.65
		OFFICE/OPERATING SUPPLIES	PD	1.72
		SMALL TOOLS & MINOR EQUIP	FD	75.04
		OPERATING SUPPLIES	PL	8.40
		OPERATING SUPPLIES	PL	4.41
		OPERATING SUPPLIES	PL	105.80
		OPERATING SUPPLIES	PL	24.83
		OPERATING SUPPLIES	PL	31.31
		OPERATING SUPPLIES	PL	11.87
		OPERATING SUPPLIES	PL	28.22
		OPERATING SUPPLIES	PL	26.43
		OPERATING SUPPLIES	PL	19.42
		OPERATING SUPPLIES	PL	16.28
		OPERATING SUPPLIES	PL	19.19
		OPERATING SUPPLIES	PL	55.04
		SMALL TOOL & MINOR EQUIP	PL	130.66
		REPAIRS/MAINT-COMM CENTER	PL	38.85
		REPAIRS/MAINT-SENIOR CENTER	PL	9.71
		REPAIRS/MAINT-SENIOR CENTER	PL	.85
		OPERATING SUPPLIES	SWR	6.24
		OPERATING SUPPLIES	SWR	11.83
		OPERATING SUPPLIES	SWR	37.30
		REPAIRS/MAINT-EQUIP	SAN	12.50
		WARRANT TOTAL		708.55
61272	ULTRA TANK SERVICES, INC.	PS - Stormwater		7,242.08
		WARRANT TOTAL		7,242.08
61273	UNITED LABORATORIES	OPERATING SUPPLIES	PL	213.65
		OP. SUPPLIES - STORM DRAIN	PL	236.24
		OPERATING SUPPLIES	SWR	300.53
		WARRANT TOTAL		750.42
61274	USA BLUE BOOK	MAINTENANCE OF LINES	SWR	201.53
		WARRANT TOTAL		201.53

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WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
61275	UTIL UNDERGROUND LOC CTR	OPERATING SUPPLIES	SWR	81.60
		WARRANT TOTAL		81.60
61276	VALLEY AUTO SUPPLY	REPAIRS/MAINT - EQUIP	PL	10.25
		REPAIRS/MAINT - EQUIP	PL	2.15
		MAINTENANCE OF VEHICLES	SWR	103.85
		MAINTENANCE OF VEHICLES	SWR	103.85
		MAINTENANCE OF VEHICLES	SWR	86.29
		OPERATING SUPPLIES	SWR	3.99
		OPERATING SUPPLIES	SWR	13.60
		OPERATING SUPPLIES	SWR	33.05
		REPAIRS/MAINT-EQUIP	SAN	214.92
		REPAIRS/MAINT-EQUIP	SAN	4.60
		OPERATING SUPPLIES	SAN	21.09
		WARRANT TOTAL		389.94
61277	VALLEY BARK & TOPSOIL	OPERATING SUPPLIES	PL	163.75
		OP. SUPPLIES - SIDEWALKS	PL	89.29
		WARRANT TOTAL		253.04
61278	VERIZON NORTHWEST	TELEPHONE	JUD	192.70
		TELEPHONE	FIN	56.83
		TELEPHONE	FIN	481.75
		TELEPHONE	PLN	32.86
		TELEPHONE	PLN	96.36
		TELEPHONE	ENG	32.86
		TELEPHONE	ENG	96.36
		TELEPHONE	PD	946.80
		TELEPHONE	INSP	32.86
		TELEPHONE	INSP	96.36
		TELEPHONE - CAMPGROUND	PL	113.08
		TELEPHONE	SWR	51.02
		TELEPHONE	SWR	44.64
		WARRANT TOTAL		2,274.48
61279	VISTEN, LESLIE	RETIRED MEDICAL	PD	109.00
		WARRANT TOTAL		109.00
61280	WA ASSOC OF BUILDING OFF	MISC-TUITION/REGISTRATION	INSP	125.00
		WARRANT TOTAL		125.00
61281	WA ST ASSOC OF MUNICIPAL	MISC-TUITION/REGISTRATION	LGL	190.00
		WARRANT TOTAL		190.00
61282	WA STATE DEPT OF ECOLOGY	DOE DISCHARGE PERMIT	SWR	776.55
		WARRANT TOTAL		776.55
61283	WA STATE DEPT OF REVENUE	TAXES AND ASSESSMENTS	LIB	7.28
		BOOKS, PERIOD, RECORDS	LIB	15.62
		TAXES & ASSESSMENTS	PL	932.05
		TAXES & ASSESSMENTS	PL	222.85
		TAXES AND ASSESSMENTS	SWR	3,963.89

WARRANT	VENDOR NAME	DESCRIPTION		AMOUNT
		TAXES & ASSESSMENTS	SAN	4,957.41
		WARRANT TOTAL		10,099.10
61284	WASHINGTON STATE PATROL	INTERGOV SVC-GUN PERMITS	PD	144.00
		PROFESSIONAL SERVICES	SWR	10.00
		WARRANT TOTAL		154.00
61285	WA STATE UNIVERSITY	MISC-TUITION/REGISTRATION	SWR	370.00
		WARRANT TOTAL		370.00
61286	WASTE MANAGEMENT OF SKGT	RECYCLING FEE - HOUSEHOLD	SAN	7,535.76
		WARRANT TOTAL		7,535.76
61287	WASTE NEWS	OPERATING SUPPLIES	SAN	109.00
		WARRANT TOTAL		109.00
61288	WESTERN PETERBILT, INC.	EQUIP & VEHICLES	SAN	217,158.64
		WARRANT TOTAL		217,158.64
61289	WIDENER AND ASSOCIATES	ENGINEERING-RHODES RD	AST	1,097.60
		WARRANT TOTAL		1,097.60
61290	WILSON PICTURE FRAMING	OFFICE/OPERATING SUPPLIES	PD	107.96
		WARRANT TOTAL		107.96
61291	WOOD'S LOGGING SUPPLY INC	POSTAGE	PD	5.96
		WARRANT TOTAL		5.96
61292	WOOD, DOUG	SMALL TOOLS & EQUIPMENT	PD	43.19
		WARRANT TOTAL		43.19
61293	L.E. HORNBECK TRUCKING DR.	FACILITY RENT - RIVERFRONT		100.00
		WARRANT TOTAL		100.00
61294	ARTHUR, SHIRLEY	CEMETERY FEES		5.80
		CEMETERY FEES		.46
		WARRANT TOTAL		6.26
		RUN TOTAL		598,481.96

FUND	TITLE	AMOUNT
001	CURRENT EXPENSE FUND	77,088.01
104	ARTERIAL STREET FUND	1,097.60
105	LIBRARY FUND	1,700.57
110	PUBLIC LANDS 110	43,560.68
331	CITY HALL CONST FUND	163,538.36
332	PWTF SEWER CONSTRUCTION FUND	3,605.42
401	SEWER FUND	25,917.42
412	SOLID WASTE FUND	60,795.26
501	EQUIPMENT REPLACEMENT FUND	217,158.64
621	SUSPENSE FUND	4,020.00
TOTAL		598,481.96

DEPARTMENT	AMOUNT
001 000 011	1,505.72
001 000 012	8,955.06
001 000 014	1,133.42
001 000 015	692.97
001 000 018	1,049.59
001 000 019	1,134.24
001 000 020	31,877.40
001 000 021	18,878.65
001 000 022	5,544.14
001 000 024	307.26
001 000 051	2,000.00
001 000 062	4,009.56
FUND CURRENT EXPENSE FUND	77,088.01
104 000 042	1,097.60
FUND ARTERIAL STREET FUND	1,097.60
105 000 072	1,700.57
FUND LIBRARY FUND	1,700.57
110 000 000	106.26
110 000 042	43,454.42
FUND PUBLIC LANDS 110	43,560.68
331 000 012	163,538.36
FUND CITY HALL CONST FUND	163,538.36
332 000 082	3,605.42
FUND P WTF SEWER CONSTRUCTION FUND	3,605.42
401 000 035	25,917.42
FUND SEWER FUND	25,917.42
412 000 037	60,795.26
FUND SOLID WASTE FUND	60,795.26
501 000 412	217,158.64
FUND EQUIPMENT REPLACEMENT FUND	217,158.64
621 000 000	4,020.00
FUND SUSPENSE FUND	4,020.00
TOTAL	598,481.96

nami Skagit

An Affiliate of the National Alliance on Mental Illness
www.namiskagit.org

CITY COUNCIL AGENDA
REGULAR MEETING

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 50

July 25, 2007

City of Sedro Woolley
City Hall
720 Murdock Street
Sedro Woolley, WA 98284

Honorable Mayor and City Council Members:

We hereby request the use of the Community Center room on 12 consecutive Monday evenings from 5:45 to 9:30pm (includes set-up and clean-up time), starting September 17th and running through December 3rd.

NAMI Skagit is a non-profit made up of those living with mental illnesses, their families, friends, and advocates. Our mission is to provide Support, Education and Advocacy for peers and their families. We have no paid staff or office, and our Board is made up of caring people volunteering their time. Skagit County Human Services provides us with a small grant in order to fund our courses, which we provide FREE of charge to the participants.

We would like to provide one of NAMI Skagit's signature classes in the Sedro Woolley area in order to reach more of the families living in the east-central part of the county. The class, "Visions for Tomorrow" is for parents and caregivers of children and adolescents living with a mental illness and covers such topics as: the various mental illnesses, symptoms; treatments; communication; empathy; recordkeeping; working with providers, schools and the juvenile justice system; coping and self-care for the care-givers; advocacy, etc. This course also affords parents and caregivers, often for the first time, the opportunity to connect with each other, learn from each other, and support each other.

Since our budget is very low, our instructors not paid, and the course FREE for attendees, we would request a reduced rate for use of the Community Center. Our need for the kitchen would only be for water for our coffee makers and for clean-up.

We ask for as quick a response as possible as we need to start publicity and/or make other arrangements. Thank you so much for your consideration.

Yours truly,

Marti Wall, President
NAMI Skagit
PO Box 2624
Mount Vernon WA 98273

PS—Please call or email me with verbal response: 360-766-4107 or mjwall@wavecable.com

August 16th, 2007

CITY COUNCIL AGENDA
REGULAR MEETING

AUG 22 2007

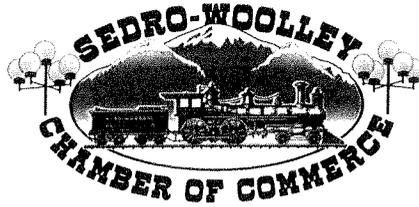
7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 32

Dear Mayor and City council,

I am writing this on behalf of Sedro Woolley Little league. We have our annual meeting at the Sedro Woolley community center on Sept. 10th, 2007. We are requesting the fees for the community center for this night be waived. We would really appreciate it.

Thank you very much,

Sheree schmalz
SWLL Secretary



CITY COUNCIL AGENDA
REGULAR MEETING

August 9, 2007

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 3e

Mayor Mike Anderson
The City of Sedro-Woolley
720 Murdock St
Sedro-Woolley, Wa 98284

Dear Mayor Anderson,

Sedro-Woolley's Founders' Day Celebration is planned for Sept 8th & 9th 2007. One of the events planned for the celebration is a wood turning and cedar shake splitting event in front of the museum. It will take place on Saturday, September 8th beginning at 10:00 a.m.

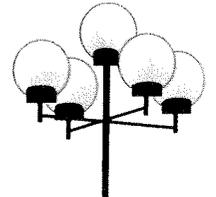
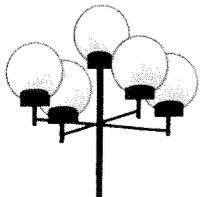
The Founders' Day Committee respectfully requests the closure of the intersection at Murdock and Woodworth Streets from 8:00am to 3:00 p.m. Saturday Sept 8th 2007 for the performance. This time allows for the setup of props, the performance and the take down of props. We would like to block parking spaces early Saturday morning (Sept 8th) in front of the Museum (east side of the street) and on the west side of the street from the City Hall entrance door south to the corner of Woodworth and then across Woodworth to include three of four parking slots on the east end of Countryside Chevrolet's car lot (lining up with the alley on the southeast corner of the Museum) and the parallel parking spot in front of City Hall on Woodworth and two to three parking slots on the south side of Woodworth (in front of the car lot.)

We would also like to make sure that the park has been reserved for Sun Sept 9th 2007.

Thank you for your consideration.

Sincerely,

Carolyn Freeman
Event Coordinator



AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 24

AGREEMENT FOR FIRE AND EMERGENCY MEDICAL SERVICES AND JOINT OPERATION OF FACILITIES

This Agreement is entered into between **SKAGIT COUNTY FIRE PROTECTION DISTRICT NO. 8**, a municipal corporation, hereafter referred to as “District”, and the **CITY OF SEDRO-WOOLLEY**, a municipal corporation, hereafter referred to as “City”.

This Agreement is entered into by the City under the authority of RCW 35A.111.040 and the District under the authority of RCW 52.12.031 and in conformity with Chapter 39.34 RCW, the Interlocal Cooperation Act.

The District and the City require a contract for the City to provide fire prevention, suppression and medical aid services to an area within the boundaries of the District and for mutual assistance between the parties.

To carry out the purposes of this Agreement and in consideration of the benefits to be received by each party, it is agreed as follows:

- 1. Effective Date and Termination of Agreement.** This Agreement shall be effective on January 1, 2008 and shall remain in effect for a period of four years or until either party shall give to the other party ninety days written notice of termination.
- 2. Emergency Response Services.** The fire and basic life support services to be rendered by each party under the terms of the Agreement shall be rendered on the same basis as such protection is rendered to other areas within such party’s jurisdiction, but neither party assumes liability for failure to do so by reason of any circumstances beyond its control. In the event of simultaneous fires or medical aid calls within or outside of a party’s jurisdiction whereby facilities of the responding party is taxed beyond its ability to render equal protection, the officers and agents of the responding party shall have discretion as to which calls shall be answered first. The responding party shall be the sole judge as to the most expeditious manner of handling and responding to emergency calls.
- 3. Command Responsibility at Emergency Scene.** The Chief Officer or Senior Officer of the party to which the response is made shall be in command of the operations under which the equipment and personnel sent by the responding party shall serve; provided that the responding equipment and personnel shall be under the immediate supervision of the Officer in Charge of the responding apparatus. The Operational Command, however, may be relinquished to the Senior Officer of any fire department rendering assistance under the terms of this Agreement.
- 4. Equipment to be Supplied by District.** The purpose of this Section is to provide the City with apparatus specifically suited to calls within the District. The District agrees that during the term of this Agreement, it will furnish for the use by the City, a

Tender and Rescue Vehicle, to be stationed at the City fire station and to be used by the City fire department personnel without restrictions under the following conditions:

- 4.1 The City agrees that it will not take the District's vehicles outside of Skagit County without prior District notification.
 - 4.2 The District shall have the authority to utilize the vehicles for emergency incidents only, without prior notification being given to the City.
 - 4.3 The District shall have the authority to utilize the vehicles for non-emergency purposes only after prior notification has been given to the City.
- 5. Use of City Equipment.** The City firefighting and aid vehicles stationed at the City fire station shall be used by the City as reserve response units for emergency calls located within the District regardless of where used.
- 6. Mutual Assistance.** In the event either party shall request the other party to provide station coverage when the requesting party's personnel and equipment are out of the station at the scene of an emergency, the party shall immediately take the following action:
- 6.1 Determine if the responding party has equipment and personnel available to respond to the requesting party and determine the nature of the equipment and number of personnel available.
 - 6.2 Determine what available equipment and what available personnel should be dispatched in accordance with the operating plans and procedures established by the parties.
 - 6.3 In the event the needed equipment and personnel are available, to dispatch such equipment and personnel to the station with proper operating instructions.
 - 6.4 In the event the needed equipment and personnel are not available, to immediately advise the requesting party of such fact.
 - 6.5 Mutual aid response service by the City to the District between 1800 hours and 0600 hours, Monday through Friday and between 1800 hours on Friday and 0600 hours on Monday in the areas North of Mosier Road and East of Minkler Lake.

The mutual assistance proved for in this paragraph shall be furnished without compensation.

- 7. Equipment Maintenance.** The District agrees that it will maintain and repair its equipment located at the City station during the term of this Agreement at its expense and that on termination of this Agreement, it will remove such equipment; provided,

however, in the event any District vehicle or equipment located at the City station is destroyed or damaged as a result of the negligent action of City personnel, the City shall be responsible for the repair or replacement of such equipment or vehicles.

- 8. Insurance.** Each party shall provide insurance coverage for all facilities and equipment owned or purchased by such party and used under the terms of this Agreement. Each of the parties also agrees to provide commercial general liability and auto liability insurance coverage covering the actions of personnel of such party with policy limits of at least \$1,000,000.00 and to name the other party as an additional insured on such policies.
- 9. Liability.** Each of the parties shall, at all times, be solely responsible for the acts or the failure to act of its personnel that occur or arise in any way out of the performance of this contract by its personnel only and to save and hold the other party and its personnel and officials harmless from all costs, expenses, losses and damages, including cost of defense, incurred as a result of any acts or omissions of the party's personnel relating to the performance of this contract.
- 10. Training of Personnel.** The City shall provide training to its firefighter personnel as prescribed by the District relative to the County addressing system, road name familiarity and incident locator information.
- 11. Compensation to City by District.** The District agrees to compensate the City for services provided by the City by reimbursing the City for response to emergencies within the District subject to the following limitations:

 - 11.1 All responses provided by the City shall be reimbursed at the rate of two hundred fifty-three dollars and thirty-six cents per call. The rate shall be increased by three percent each calendar year beginning January 1, 2009.
 - 11.2 The District shall pay the City for the services on a quarterly based calendar year within forty-five days following receipt of the billing statement.
 - 11.3 Emergency responses by the City to the District between the hours of 1800 and 0600, Monday through Friday and between the hours of 1800 on Friday through 0600 on Monday, shall be provided without compensation under the provisions of paragraph six of this Agreement.
- 12. Notices.** All notices, requests, demands and other communications required by this Agreement shall be in writing and, except as expressly provided elsewhere in this Agreement, shall be deemed to have been given at the time of delivery if personally delivered or at the time of mailing if mailed by first class, postage pre-paid and addressed to the party at its address as stated in this Agreement or at such address as any party may designate at any time in writing.

13. Severability. If any provision of this Agreement or its application is held invalid, the remainder of the Agreement or the application of the remainder of the Agreement shall not be affected.

14. Modification. This Agreement represents the entire agreement between the parties. No change or attempted waiver of any of the provisions of this Agreement shall be binding on either of the parties unless executed in writing by authorized representatives of each of the parties. The Agreement shall not be modified, supplemented or otherwise affected by the course of dealing between the parties.

15. Benefits. This Agreement is entered into for the benefit of the parties to this Agreement only and shall confer no benefits, direct or implied, on any third persons.

16. Annual Report. The District Chief and the City Fire Chief shall jointly provide an annual report to both parties. This report shall include but is not limited to the following:

16.1 Number of responses for each party broken down by zone, vehicle usage, costs involved in responses and forecasts for the upcoming year.

Dated: August 8, 2007

SKAGIT COUNTY FIRE DISTRICT #8

CITY OF SEDRO-WOOLLEY

By: [Signature]
Commissioner

By: [Signature]
Mayor

By: [Signature]
Commissioner

Attest: [Signature]
City Clerk

By: [Signature]
Commissioner

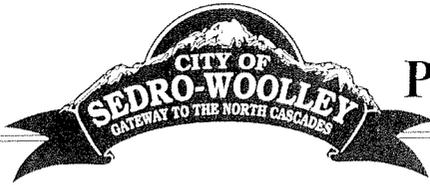
Approved as to form:

By: [Signature]
District Secretary

[Signature]
City Attorney

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 17



PROCLAMATION

UNITED WAY CAMPAIGN IN SKAGIT COUNTY SEPTEMBER, OCTOBER, NOVEMBER 2007

WHEREAS, the citizens of Sedro-Woolley are characterized by their determination to help each other in times of need; and

WHEREAS, this spirit of caring for one another is expressed by volunteers working with the United Way of Skagit County to raise funds for health and human service needs; and

WHEREAS, there are many local non profit agencies that are supported by United Way so health and human services needs can be met; and

WHEREAS, the United Way Campaign is an effective and efficient way to raise funds to support the very important work of these agencies

NOW, THEREFORE, BE IT RESOLVED AND IT IS HEREBY ORDERED BY THE CITY COUNCIL OF SEDRO-WOOLLEY that September, October and November are proclaimed "United Way Campaign Months" in Sedro-Woolley. The Mayor and City Council encourage everyone in the community to step forward with vigor and generosity to help your fellow man by volunteering and contributing financially to the United Way.

IN TESTIMONY WHEREOF, WE HEREUNTO SET OUR HANDS AND AFFIX THE OFFICIAL SEAL OF OUR OFFICE THIS 22ND DAY OF AUGUST 2007.

*Sedro-Woolley City Council
Sedro-Woolley, Washington*

Mike Anderson, Mayor

City Council Members

Attest: _____



"Community volunteers working to raise funds through a single annual appeal to help people through people."

July 10, 2007

The Hon. Mike Anderson
Mayor, City of Sedro-Woolley
720 Murdock
Sedro-Woolley, WA 98284

Dear Mayor Anderson:

The annual United Way of Skagit County campaign to raise funds for local non-profit agencies is just around the corner. One very important component of the campaign is endorsement by local governmental bodies. This is normally accomplished with a proclamation that is adopted at a meeting of the Commissioners or Council.

Attached is a sample proclamation. The campaign months are the same (September, October and November). We would very much appreciate it if you would consider adopting such a proclamation again this year.

If you would like me or another representative of United Way to be in attendance when the proclamation is adopted, please contact me at the United Way office, (360) 755-9521, and I will make certain someone is present.

Last year we raised more than \$ 870,000 and thousands of local people were helped by those funds. The goal this year is \$ 950,000, and under the leadership of 2007 Campaign Chair Sue Krienen from the Shell Puget Sound Refinery in Anacortes, we stand a good chance of achieving that goal. Thank you in advance for your efforts on behalf of the United Way of Skagit County.

Sincerely,

Paul G. Chaplik
Executive Director

PGC:ec
Enc.

P.S. Attached is a list of the agencies that are supported by United Way funds.

**AGENCIES/PROGRAMS IN SKAGIT COUNTY RECEIVING FUNDING FROM
THE UNITED WAY OF SKAGIT COUNTY**

THE AMERICAN RED CROSS (2) Anacortes-San Juan Islands Chapter and Mt. Baker Chapter Provides relief to victims of disaster, helps families prevent, prepare for, and respond to emergencies. Provides training in CPR, First Aid and Babysitting.

BOY SCOUTS OF AMERICA-Mt. Baker Council Provides programs for youth which emphasize character development, leadership training, cooperation, personal fitness and experience with the out of doors.

BREAD OF LIFE FOOD BANK Provides food to low income families in the Marblemount /Rockport area.

CAMP FIRE USA Samish Council An inclusive youth development program emphasizing personal life skills, ethical life styles, outdoor skills and leadership. Operates Camp Kirby for members and non-members.

CATHOLIC COMMUNITY SERVICES NW Provides nondenominational counseling for children and families, specialized treatment for abused children, divorce classes, supervised visitation, ADHD education, and other family services.

CHINOOK ENTERPRISES Provides vocational training and job placement for individuals with disabilities.

COMPASS HEALTH Provides mental health and chemical dependency treatment. Components include crisis intervention and services for children, adults, older adults and veterans.

CONCRETE FOOD BANK Provides food to low-income families in the Concrete area.

FRIENDS OF WELCOME BABY/BABY TALK A visitation program for all new parents in Skagit County to strengthen parenting skills, and the understanding of infant development.

GIRL SCOUTS-Totem Council Helps girls from age 5 to 17 build character and skills for success in the real world. Emphasizes strong values and promotes an understanding of self worth.

IDEAS FOR LIVING A program that provides training and support to enhance basic life skills for people with limited resources. The goal is to increase self-sufficiency.

MEALS ON WHEELS Delivers meals to elderly and disabled shut-ins throughout the county on a regular basis.

MOUNT VERNON COMMUNITY WELLNESS COUNCIL Provides resources for local programs serving youth and families that promote a safe and healthy community.

NORTH CASCADES HEALTH COUNCIL Promotes healthy, safe, substance-free and violence-free communities.

NORTHWEST YOUTH SERVICES Provides a 'doorway to safety' for abused/neglected, runaway and homeless children, youth and families. Services include emergency shelter, supportive housing, counseling and support groups, private foster care, and restorative justice for youthful offenders.

RETIRED SENIOR VOLUNTEER PROGRAM (R.S.V.P.) Recruits senior volunteers (age 55 and over) and matches them in meaningful assignments with government and nonprofit agencies meeting local needs.

SALVATION ARMY-Anacortes Provides a community food bank, rent and utility assistance, emergency lodging, prescription assistance and counseling for families and individuals.

SEA MAR COMMUNITY HEALTH CENTERS Provides health care and social services for low-income people and the uninsured with special emphasis on the Hispanic community.

SECRET HARBOR Provides a continuum of specialized services including residential treatment and therapeutic foster care for children with severe emotional and behavioral disabilities.

SKAGIT ADULT DAY CARE Provides supervised care and social activities appropriate to individuals with memory loss or physical disabilities. Serves both participants and their caregivers who often need respite.

SKAGIT COUNCIL ON AGING Provides senior centers in all major communities in the county to enhance social interaction and activities beneficial to older adults.

SKAGIT COUNTY COMMUNITY ACTION AGENCY An umbrella agency of 25+ programs provides goal-oriented interventions and emergency assistance to reduce poverty impact. Programs include housing, literacy, WIC and more.

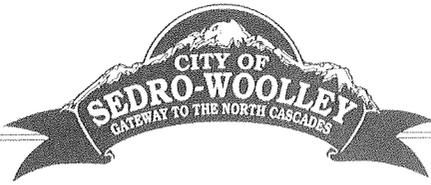
SKAGIT DOMESTIC VIOLENCE AND SEXUAL ASSAULT SERVICES Provides confidential and free emergency shelter and medical, legal and social services advocacy for victims of domestic violence and sexual assault.

SKAGIT VALLEY FAMILY YMCA Provides Child Care, After School Program, Children's Day Camp, and an Emergency Teen Shelter. In addition, the Y provides physical programs and activities for children, teens, adults, seniors and families.

SPARC (Skagit Preschool and Resource Center) Provides specialized programs for children with special needs (ages birth to twelve). Also provides family education and support.

VOLUNTEERS OF AMERICA-NORTH SOUND 2-1-1 Meets community need for information and referral to health and human service resources via the telephone. Reduces duplication of effort among agencies.

YOUTHNET Provides foster care, parent support, truancy prevention, independent living skills training to high-risk youth and families. Also operates Emerson Alternative High School.



SUBJECT: PUBLIC COMMENT

Name :
Address :
Narrative :

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 2a

PROCLAMATION

SKAGIT COUNTY MEDICAL RESERVE CORPS WEEK, August 25-31, 2007

WHEREAS, any major catastrophe in Skagit County will create a surge in the demand for locally based healthcare workers, whether it be flood, earthquake, volcano eruption, an overwhelming communicable disease or the response to an act of terrorism; and

WHEREAS, in Skagit County we are fortunate to have people of honor, character and compassion who are willing to donate their professional health care planning and treatment abilities and energy by registering for the Skagit County Medical Reserve Corps; and

WHEREAS, medical doctors, licensed nurses, pharmacists, mental health workers, certified nursing assistants, veterinarians, dentists, psychiatrists, podiatrists, and message therapists, and other health professionals in Skagit County have registered with the number of volunteers increasing to help in any emergency requiring their skills; and

WHEREAS, the Skagit County Public Health Department is committed to train, activate, direct and manage the Skagit County Medical Reserve Corps in Skagit County; and

WHEREAS, the public health challenges our county and nation have recently experienced, demonstrate the necessity to rely heavily on the professional skills of local residents, people who know and care about each other, the area, and our resources, and will strive to protect and restore our community during and after such public health challenges; and

WHEREAS, The Sedro-Woolley City Council express heartfelt thanks to our many healthcare professionals who have volunteered and will volunteer as Skagit County Medical Corps Reservists Volunteers;

NOW THEREFORE, I, Mike Anderson, the Mayor of Sedro-Woolley, do hereby proclaim August 25-31, 2007, and the fourth week of June annually as SKAGIT COUNTY MEDICAL RESERVE CORPS WEEK in honor of the many dedicated volunteers willing to help their friends and neighbors in Skagit County in time of need.

Signed this 22nd day of August, 2007.

Mayor Mike Anderson

National Response to 9/11

- 9/11 terrorist attacks on the east coast increased national and local awareness of the need to ensure adequate responses to public health emergencies
–Importantly, this included organizing to ensure effective use of volunteer resources.
- This led to the establishment of the USA Freedom Corps--and within it the Citizens Corps.
- Under the aegis of the Citizens Corps, **every locality (usually counties) in the nation** is establishing a Medical Reserve Corps to serve encourage and organize professionals volunteers in addressing public health needs in emergencies
- We are responsible for establishing the Skagit County Medical Reserve Corps or SCMRC.

Skagit County MRC

- The SCMRC will consist of local health professionals and others with health-related skills who will volunteer, when able, during emergencies.
- The Department of Public Health has the County lead in establishing and supporting the MRC, in coordination with departments of Emergency Management, the Sheriff, Public Works.
- Our County responsibility is to identify, recruit, train, and support the volunteers and to coordinate our efforts with those of MRCs in our area and with the State offices.
- We will work with other counties in Region 1 of the xxx--Skagit, Whatcom, Island, Snohomish and San Juan Counties--to establish and support effective MRCs through sharing ideas and resources for the planning, evaluation, and administration of the MRCs.

Getting Started

SCMRC program administrators are, or soon will be:

1. Recruiting licensed health professional volunteers: Medical and nursing professionals, paramedics, veterinarians, pharmacists, dentists, physical therapists, certified nursing assistants, certified counselors, and others with crisis management skills.
2. Partnering with the local medical groups, hospitals, tribal clinics, Emergency Medical

Services, and the public health community to develop medical command and control procedures.

- a. Identify sites where SCMRC reservists should assemble when called.
3. Registering SCMRC volunteers as Washington State Emergency Workers and providing them with SCMRC identification badges.
 4. Providing volunteers with training, skill updates, and written materials--such as the SCMRC handbook

Handout “How Emergency Services Operate in Washington State”

Operational Details

- Recruiting and Identifying volunteers.
 - Using an array of outreach activities (press, mailings, web site, meeting directly with potential volunteers, and public and private entities.)
 - Applications are reviewed by Department of Public Health staff.
 - County staff ensures that carefully controlled ID badges are issued to each volunteer after training is completed.
- Identifying Volunteer Assignments. With the health care community and other public and private entities, we will identify volunteer assignments that may be made in advance of emergencies.
- Volunteer Safety. Volunteers may receive safety training appropriate to their specific function in the SCMRC unit. All volunteers will be provided, if needed, with current immunizations, including tetanus, influenza, small pox, and hepatitis B.
- Volunteer Training and Competency. All SCMRC volunteers will be asked to participate in key training and to demonstrate selected competencies based on their assignments. Not all volunteers will need the same training.
- Volunteer Compensation. Volunteer time is uncompensated. However, Skagit County departments protective equipment and clothing, supplies (gloves, syringes, splints, etc.), food and shelter, communication equipment. Certain volunteer expenses may qualify for deduction under the IRS tax code.

- Personal Readiness. Volunteers can help only if they and their families are prepared. County staff will provide information to help them prepare their home, family, work location to respond in the case of emergency.

Volunteer Rights, Responsibilities, Legal Protections

- Volunteer rights include
 - Means to meet SCMRC competencies.
 - Orientation and Training and access to our SCMRC staff.
 - Assignments that maximize the application of your skills.
 - Clear, specific directions about your assignment.
 - Recognition and appreciation for your contribution.
 - Feedback and answers in crisis and in community-based public health initiatives
 - Space, equipment and supplies, if available.
 - Respect and help, when requested.
- Volunteer are expected to comply with the policies, procedures, and standards of the Skagit County Medical Reserve Corps. These are under development, but include personal commitments to act in a manner that is
 - Dependable, reliable, and businesslike, and abide by the policies of the SCMRC.
 - Dressed appropriately for the setting and the task at hand.
 - Safe and responsible.
 - Aware of confidentiality.
 - Noting your SCMRC volunteer hours of service on the work log in this handbook.
 - Be non-discriminatory toward all regardless of income, race, gender, age, religion, sexual orientation, or disability.
 - Attentive to supervision.
 - Forthcoming with feedback and suggestions.

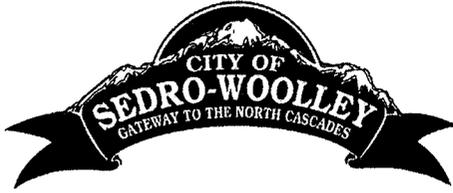
Legal Protections

- The terms of protection for SCMRC and other counties' Medical Reserve Corps are under revision by State agencies.

A Few Final Words About the Program

- The MRC program focuses on health and medical responses to emergencies. However, we expect many volunteers will want to play a part in enhancing public health and personal wellness at less challenging times
- Program Funding. Talk about grant, county staff.
 - Future funding.

UNFINISHED BUSINESS



CITY COUNCIL AGENDA
REGULAR MEETING

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 7

CITY OF SEDRO-WOOLLEY

Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
FROM: Eron Berg
RE: City Hall Update
DATE: August 22, 2007

PROJECT STATUS: The Project is progressing as anticipated; second floor framing is continuing. Also, current photos of the project are available for review at www.ci.sedro-woolley.wa.us.

- ISSUES:**
1. Should the Council approve the proposed contract with PSE for design of the planned underground revision to the pole in front of the new facility?
 2. Should the Council approve the proposed scope and agreement with Northwest Information Services, Inc., for telecommunications assessment and alternatives?

PENDING ISSUES:

1. PSE pole at entrance to building: this is a requested action item, however, this issue is a two-part process with the action requested being the purchase of the engineering design for the undergrounding by PSE, followed by accurate cost estimates to the City of the change order from the contractor and actual costs for undergrounding. I am estimating a total cost to the City of approximately \$40,000.00 for this change.
2. Generators. I had hoped to have additional information in this memo but do not. If I have additional information as late materials, I will report it at the meeting.
3. FF&E budget still pending further review and discussion.
4. Telecommunications. A proposed scope is attached from Northwest Information Services, Inc., to provide the assessment and alternatives for the new phone system. The anticipated cost is just under \$15,000. It is unclear to me whether we will need additional services from this consultant in the future.

REQUEST FOR ACTION:

1. PSE has prepared their standard contract for design and it is ready for approval so we can proceed with the design and determine final costs.

2. I have reviewed the qualifications of consultants from our consultants' roster and have solicited a proposal from Northwest Information Services, Inc. (who has done work for Anacortes most recently). Their scope is attached and is ready for approval – it will allow us to identify the design/specifications for the new phone system. Time is of the essence on this issue.

INFORMATIONAL ITEMS:

The following is a log of pending and approved modifications:

MODIFICATION PROPOSAL REQUESTS:

Preliminarily Approved Under Resolution:

5-29-2007	1R	Cascade Gas delays	\$ 9,270.37
5-29-2007	2	Costs related to electrical conflict under the elevator	\$ 1,660.19
5-29-2007	3	Re-routing conduit as a result of site conditions	\$ 615.79
6-28-2007	4	Additional work required following response to RFI 8 (AR's 8 & 12): additional beam	\$ 1,104.69
7-25-2007	6R	Addition of operable windows	\$10,597.78

Under Council action on May 23, 2007:

7-25-2007	5R	Authorization to revise floor plan to redesign building, planning and engineering	\$18,968.51
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Under Council action on June 13, 2007:

6-13-2007	n/a	Addition to Carletti contract	up to \$30,000.00
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Under Council action on August 8, 2007:

8-8-2007	n/a	Change order number 1 (MPR's 1-6)	\$42,217.33
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Pending consideration of the City & pricing from Contractor:

n/a	7	Electric door strikes	pending
n/a	8	Electric keypad entrance	pending
n/a	9	Electrical revision following MPR 5R	pending
n/a	10	Re-roofing existing structure	pending

n/a

11

Addition of wires/boxes to Room 202

pending

RECOMMENDATION:

1. Motion to authorize the Mayor to sign the proposed project design agreement with PSE.

2. Motion to authorize the Mayor to sign a City-standard professional services agreement with Northwest Information Services, Inc., in an amount not to exceed \$15,000.00.

SCHEDULE 74 UNDERGROUND CONVERSION

Project Design Agreement

Project Name: Metcalf Street

Project Number: 10756035

THIS Agreement, dated as of this 13 day of August , 2008, is made by and between City of Sedro Woolley, a Municipal Corporation (the "Government Entity"), and PUGET SOUND ENERGY, Inc., a Washington Corporation (the "Company").

RECITALS

A. The Company is a public service company engaged in the sale and distribution of electric energy and, pursuant to its franchise or other rights from the Government Entity, currently locates its electric distribution facilities within the jurisdictional boundaries of the Government Entity.

B. The Government Entity is considering conversion of the Company's existing overhead electric distribution system to a comparable underground electric distribution, as more specifically described in the Scope of Work (as defined in paragraph 2, below) furnished to the Company by the Government Entity (the "Conversion Project").

C. The Government Entity has requested that the Company perform certain engineering design services and otherwise work cooperatively with the Government Entity to develop a mutually acceptable Project Plan (as defined in paragraph 6, below) for the Conversion Project, in accordance with and subject to the terms and conditions of this Agreement (the "Design Work").

D. The Government Entity and the Company wish to execute this written contract in accordance with Schedule 74 of the Company's Electric Tariff G ("Schedule 74") to govern the Design Work for the Conversion Project.

AGREEMENT

The Government Entity and the Company therefore agree as follows:

1. Unless specifically defined otherwise herein, all terms defined in Schedule 74 shall have the same meanings when used in this Agreement.
2. The Government Entity shall, within ten (10) business days after the date of this Agreement, provide the Company with a written scope of work for the Conversion Project which includes, among other things, (a) a reasonably detailed description of the scope of the work required for the Conversion Project, (b) a list of the key milestone dates for the Conversion Project, (c) reasonably detailed drawings showing any associated planned improvements to the Public Thoroughfare, and (d) a statement as to whether the Government Entity desires to install the ducts and vaults for the Conversion Project (the "Scope of Work"). The Government Entity shall provide the Company two (2) hard copies of the Scope of Work and a copy of the relevant electronic file(s) in a mutually agreed electronic format.
3. Within ten (10) business days of its receipt of the Scope of Work, the Company shall prepare and submit to the Government Entity (a) a reasonably detailed, good faith estimate of the cost to perform the Design Work (the "Design Cost Estimate"), and (b) a proposed schedule for completion of the Design Work which, to the extent reasonably practicable, reflects the applicable key milestone dates

specified in the Scope of Work and provides for completion of the Design Work within ninety (90) business days from the date the Company receives the Government Entity's notice to proceed under paragraph 5, below (the "Design Schedule"). The proposed Design Cost Estimate and the proposed Design Schedule shall be based upon the then-current Scope of Work. Unless otherwise specified in the Scope of Work, the Design Work shall not include negotiation or acquisition of third party property rights but shall include preliminary planning between the Company and the Government Entity regarding their respective obligations for negotiating and acquiring third party property rights.

4. Within ten (10) business days after the Government Entity's receipt of the proposed Design Cost Estimate and the proposed Design Schedule from the Company, the Government Entity and the Company shall meet in order to (a) review the proposed Design Cost Estimate, (b) review the proposed Design Schedule; (c) review the Scope of Work, and (d) make any changes necessary to create a final Scope of Work, final Design Cost Estimate, and final Design Schedule that are reasonably acceptable to both parties. If the parties are unable to agree upon a final version of the Scope of Work, Design Cost Estimate, and/or Design Schedule, then either party may, by written notice to the other party, submit the matter for resolution pursuant to the dispute resolution procedures in paragraph 16, below. The final Scope of Work, Design Cost Estimate and Design Schedule, once determined in accordance with this paragraph 4, may thereafter be changed or amended only in accordance with the change procedures set forth in paragraph 13, below.
5. The Government Entity shall, within ten (10) business days after determination of the final of the Scope of Work, Design Cost Estimate, and Design Schedule, issue (a) a written notice to proceed which shall delineate the final Scope of Work, Design Cost Estimate, and Design Schedule, or (b) a written notice to terminate this Agreement without cost to the Government Entity. If the Government Entity terminates this Agreement, the costs incurred by the Company in preparing and submitting the Design Cost Estimate and the Design Schedule shall not be reimbursable to the Company, and the rights and obligations of the parties under this Agreement shall be terminated in their entirety and without liability to either party.
6. Following the Company's receipt of the notice to proceed, and within the applicable time period specified in the Design Schedule, the Company shall, with the cooperation and assistance of the Government Entity as outlined in this Agreement, prepare a project plan for the Conversion Project (the "Project Plan") which shall include, among other things, the following: (a) a detailed description of the work that is required to be performed by each party and any third party in connection with the Conversion Project (the "Construction Work"), (b) the applicable requirements, drawings, and specifications for the Construction Work, (c) a description of any operating and other property rights that are required to be obtained by each party for the Conversion Project (and the requirements and specifications with respect thereto), (d) a detailed estimate of the costs to be incurred by each party in its performance of the Construction Work, and (e) a detailed schedule for completing the Construction Work (including, without limitation, the dates for delivery of the ducts and vaults and other materials for use at the site of the Construction Work).
7. The Government Entity shall be responsible for coordinating the Design Work with all other design work to be performed in connection with the Conversion Project and any associated planned improvements to the Public Thoroughfare. The parties shall work together in an effort to mitigate the costs of the Conversion Project to each party, including, without limitation, identifying ways to accommodate the facilities of the Company to be installed as part of the Conversion Project within the Public Thoroughfare.
8. Within the applicable time period specified in the Design Schedule, the Company shall prepare and submit to the Government Entity a proposed initial draft of the Project Plan. The parties understand and acknowledge that the proposed Project Plan submitted by the Company shall be preliminary in nature and shall not include, without limitation, information required to be supplied by the Government Entity (e.g., scope and estimate of the cost of the Construction Work to be performed by the Government Entity).

9. Within the applicable time period specified in the Design Schedule, the Government Entity shall (a) review the proposed Project Plan submitted by the Company, (b) complete any information required to be supplied by the Government Entity, (c) make any changes required to conform the proposed Project Plan to the Scope of Work and this Agreement, and (d) return the amended Project Plan to the Company.
10. Within the applicable time period specified in the Design Schedule, the Company shall review the amended Project Plan submitted by the Government Entity and notify the Government Entity in writing of either the Company's acceptance of, or the Company's specific objections to, the amended Project Plan. If the Company makes any objection to the amended Project Plan, and the parties are unable to resolve the objections and mutually agree upon the Project Plan prior to the final design date specified in the Design Schedule, then either party may, by written notice to the other party, submit the matter for resolution pursuant to the dispute resolution procedures in paragraph 16, below. The Project Plan, as mutually agreed upon by the parties or established through the dispute resolution process, shall be attached to and incorporated in a Project Construction Agreement substantially in the form attached hereto as Exhibit A (the "Construction Agreement") which is to be signed by the parties prior to commencement of the Construction Work.
11. The parties intend and agree that the Design Work and the Project Plan in its final form shall conform to the following requirements:
 - (a) The Project Plan shall, if requested by the Government Entity in its initial Scope of Work, specify that the Government Entity shall install the ducts and vaults for the Conversion Project; provided that (i) the parties mutually agree upon and set forth in the Project Plan (A) the costs of such installation work to be included in the Cost of Conversion, and (B) the specifications and standards applicable to such installation work, and (ii) such installation work is accomplished by the Government Entity in accordance with the applicable design and construction specifications provided by the Company and set forth in the Project Plan.
 - (b) Each estimate of the costs to be incurred by a party shall, at a minimum, be broken down by (i) the design and engineering costs, (ii) property and related costs, including any costs of obtaining operating rights, and (iii) construction costs, including and listing separately inspection, labor, materials, and equipment.
 - (c) All facilities of the Company installed as part of the Conversion Project shall be located, and all related property and operating rights shall be obtained, in the manner set forth in the applicable provisions of Schedule 74. The Project Plan shall describe in detail the location of such facilities, any related property and operating rights required to be obtained, and the relative responsibilities of the parties with respect thereto.
 - (d) The schedule set forth in the Project Plan for completing the Construction Work shall include, at a minimum, milestone time periods for completion of the Trenching, installation of ducts and vaults, the construction and removal of any Temporary Service, and the removal of overhead facilities.
 - (e) The Project Plan may include the specification of work and requirements for Government-Requested Upgrades and Company-Initiated Upgrades; provided, however, that the costs incurred by the Company with respect to the design and engineering of Company-Initiated Upgrades shall not be included in the costs reimbursable to the Company under this Agreement or the Construction Agreement. For purposes of the foregoing, (i) the term "Government-Requested Upgrade" shall mean any feature of the Underground Distribution System which is requested by the Government Entity and is not reasonably required to make the Underground Distribution System comparable to the overhead distribution system being replaced, and (ii) the term "Company-Initiated Upgrade" shall mean any feature of the Underground Distribution System which is required by the Company and is not reasonably required to make the Underground Distribution System comparable to the overhead distribution system being replaced. For

purposes of subparagraph (ii), above, a "comparable" system shall include, unless the parties otherwise agree, the number of empty ducts (not to exceed two (2), typically having a diameter of 6" or less) of such diameter and number as may be specified and agreed upon in the final Scope of Work necessary to replicate the load-carrying capacity (system amperage class) of the overhead system being replaced. For purposes of subparagraph (i), above, any empty ducts installed at the request of the Government Entity shall be a Government-Requested Upgrade.

- (f) The Project Plan shall set forth all specifications, design standards and other requirements for the Construction Work and the Conversion Project, including, but not limited to, the following:
 - (i) applicable federal and state safety and electric codes and standards, (ii) applicable construction and other standards of the Company, and (iii) applicable street design and other standards of the Government Entity which are in effect as of the commencement of the Conversion Project.

12. Upon request of the Government Entity, and in any event at the times specified in the Design Schedule, the Company shall provide periodic reports which compare the actual costs of the Design Work incurred to that point in time to the Design Cost Estimate, as changed or amended in accordance with paragraph 13, below. Further, if at any time the Company reasonably expects that the actual cost of the Design Work will exceed the Design Cost Estimate, as changed or amended in accordance with paragraph 13, below, the Company shall notify the Government Entity immediately. Upon receipt of the Company's notice, the Government Entity may, at its option,

- (a) notify the Company in writing that this Agreement is terminated; or
- (b) request a reasonably detailed explanation supported by documentation (reasonably satisfactory to the Government Entity) to establish that the actual costs in excess of the Design Cost Estimate are:
 - (i) reasonable,
 - (ii) consistent with the Scope of Work, and
 - (iii) consistent with sound engineering practices.

If the Government Entity requests an explanation, the Government Entity shall, within ten (10) business days after receipt of the explanation,

- (a) change the Scope of Work in accordance with paragraph 13, below, or
- (b) direct the Company to continue with the Design Work without a change in the Scope of Work, but reserving to the Government Entity the right to dispute the reasonableness of the costs to be paid the Company under paragraph 14, below, in accordance with the dispute resolution procedures in paragraph 16, below, or
- (c) direct the Company to discontinue performing the Design Work pending resolution, pursuant to paragraph 16, below, of any dispute regarding the reasonableness of the costs, in which event the Design Schedule will be adjusted to reflect the delay, or
- (d) notify the Company in writing that this Agreement is terminated.

In the event the Government Entity terminates this Agreement or discontinues the performance of the Design Work under subparagraph (c), above, for more than ninety (90) days, the Government Entity shall pay the Company for all costs incurred by the Company in its performance of the Design Work prior to the date the Company receives the Government Entity's notice of termination, plus any costs incurred by the Company for materials and other items ordered or procured by the Company with the prior authorization of the Government Entity in order to meet the schedule for the Conversion Project. The foregoing payment obligation shall survive any termination of this Agreement.

13. (a) Either party may, at any time, by written notice thereof to the other party, request changes to the Scope of Work (a "Request for Change"). No Request for Change shall be effective and binding upon the parties unless signed by an authorized representative of each party. If any approved Request for Change would cause an increase in the cost of, or the time required for, the performance of any part of the Design Work, an equitable adjustment in the Design Cost Estimate and the Design Schedule shall be made to reflect such increase. The parties shall negotiate in good faith with the objective of agreeing in writing on a mutually acceptable equitable adjustment. If the parties are unable to agree upon the terms of the equitable adjustment, either party may submit the matter for resolution pursuant to the dispute resolution procedures in paragraph 16, below. Notwithstanding any dispute or delay in reaching agreement or arriving at a mutually acceptable equitable adjustment, each party shall, if requested by the other party, proceed with the Design Work in accordance with the Request for Change. Any such request to proceed must be accompanied by a written statement setting forth the requesting party's reasons for rejecting the proposed equitable adjustment of the other party.
- (b) The Design Cost Estimate and/or the Design Schedule shall be equitably adjusted from time to time to reflect any change in the costs or time required to perform the Design Work to the extent such change is caused by: (i) any Force Majeure Event under paragraph 17, below, (ii) the discovery of any condition within the Conversion Area which affects the scope, cost, schedule or other aspect of the Design Work and was not known by or disclosed to the affected party prior to the date of this Agreement, or (iii) any change or inaccuracy in any assumptions regarding the scope, cost, schedule or other aspect of the Design Work which are expressly identified by the parties in the final Scope of Work. Upon the request of either party, the parties will negotiate in good faith with the objective of agreeing in writing on a mutually acceptable equitable adjustment. If, at any time thereafter, the parties are unable to agree upon the terms of the equitable adjustment, either party may submit the matter for resolution pursuant to the dispute resolution provisions in paragraph 16, below.
14. Upon completion of the Design Work (i.e., the date on which the Project Plan is final under paragraph 10, above, either by mutual agreement of the parties or as established through the dispute resolution procedures), the Government Entity shall pay the Company all actual, reasonable costs to the Company for the Design Work (which, if disputed in good faith by the Government Entity, may be submitted by either party for resolution pursuant to the dispute resolution provisions in paragraph 16, below), plus any costs incurred by the Company for materials and other items ordered by the Company with the prior authorization of the Government Entity in order to meet the schedule for the Conversion Project. If, thereafter, the Construction Agreement is executed by the parties and the Conversion Project is completed within five (5) years from the date of this Agreement, the full amount of the costs incurred by the Company in its performance of the Design Work shall be included in the "Shared Company Costs" under the Construction Agreement and any payment of such amounts under this Agreement shall be credited to the Government Entity in calculating the "Net Amount" payable under the Construction Agreement.
15. Within sixty (60) business days after completion of the Design Work, the Company shall issue to the Government Entity an itemized invoice for the amounts payable under this Agreement. Such invoice shall be in a form mutually agreed upon by the Company and the Government Entity and shall, at a minimum, itemize the design and engineering costs, including and listing separately inspection, labor, materials and equipment. In the event the Government Entity does not verify such invoice within ten (10) business days of receipt, the Government Entity shall provide a written request to the Company specifying the additional information needed to verify the invoice. The Company will provide, within a reasonable period after receipt of any request, such documentation and information as the Government Entity may reasonably request to verify such invoice. The Government Entity shall pay the Company all amounts payable under this Agreement within thirty (30) days after receipt of the Company's invoice. Payment as provided in this Agreement shall be full compensation for the Company's performance of the Design Work, including without limitation all services rendered and all materials, supplies, equipment, and incidentals necessary to complete the Design Work.

16. Dispute Resolution Procedures:

- (a) Any dispute, disagreement or claim arising out of or concerning this Agreement must first be presented to and considered by the parties. A party who wishes dispute resolution shall notify the other party in writing as to the nature of the dispute. Each party shall appoint a representative who shall be responsible for representing the party's interests. The representatives shall exercise good faith efforts to resolve the dispute. Any dispute that is not resolved within ten (10) business days of the date the disagreement was first raised by written notice shall be referred by the parties' representatives in writing to the senior management of the parties for resolution. In the event the senior management are unable to resolve the dispute within twenty (20) business days (or such other period as the parties may agree upon), each party may pursue resolution of the dispute through other legal means consistent with the terms of this Agreement. All negotiations pursuant to these procedures for the resolution of disputes shall be confidential and shall be treated as compromise and settlement negotiations for purposes of the state and federal rules of evidence.
 - (b) Any claim or dispute arising hereunder which relates to the Scope of Work, Design Cost Estimate, and Design Schedule under paragraph 4, above; the Project Plan under paragraph 10, above; or any Request for Change (including, without limitation, any associated equitable adjustment) under paragraph 13, above; and is not resolved by senior management within the time permitted under paragraph 16(a), above, shall be resolved by arbitration in Seattle, Washington, under the Construction Industry Arbitration Rules of the American Arbitration Association then in effect. The decision(s) of the arbitrator(s) shall be final, conclusive and binding upon the Parties. All other disputes shall be resolved by litigation in any court or governmental agency, as applicable, having jurisdiction over the Parties and the dispute.
 - (c) In connection with any arbitration under this paragraph 16, costs of the arbitrator(s), hearing rooms and other common costs shall be divided equally among the parties. Each party shall bear the cost and expense of preparing and presenting its own case (including, but not limited to, its own attorneys' fees); provided, that, in any arbitration, the arbitrator(s) may require, as part of his or her decision, reimbursement of all or a portion of the prevailing party's costs and expenses by the other party.
 - (d) Unless otherwise agreed by the parties in writing, the parties shall continue to perform their respective obligations under this Agreement during the pendency of any dispute.
17. In the event that either party is prevented or delayed in the performance of any of its obligations under this Agreement by reason beyond its reasonable control (a "Force Majeure Event"), then that party's performance shall be excused during the Force Majeure Event. Force Majeure Events shall include, without limitation, war; civil disturbance; flood, earthquake or other Act of God; storm, earthquake or other condition which necessitates the mobilization of the personnel of a party or its contractors to restore utility service to customers; laws, regulations, rules or orders of any governmental agency; sabotage; strikes or similar labor disputes involving personnel of a party, its contractors or a third party; or any failure or delay in the performance by the other party, or a third party who is not an employee, agent or contractor of the party claiming a Force Majeure Event, in connection with the Work or this Agreement. Upon removal or termination of the Force Majeure Event, the party claiming a Force Majeure Event shall promptly perform the affected obligations in an orderly and expedited manner under this Agreement or procure a substitute for such obligation. The parties shall use all commercially reasonable efforts to eliminate or minimize any delay caused by a Force Majeure Event.
18. This Agreement is subject to the General Rules and Provisions set forth in Tariff Schedule 80 of the Company's electric Tariff G and to Schedule 74 of such Tariff as approved by the Washington Utilities and Transportation Commission and in effect as of the date of this Agreement.

19. Any notice under this Agreement shall be in writing and shall be faxed (with a copy followed by mail or hand delivery), delivered in person, or mailed, properly addressed and stamped with the required postage, to the intended recipient as follows:

If to the Government Entity:

City of Sedro Woolley

Attn: _____

Fax: _____

If to the Company:

Puget Sound Energy, Inc.

Attn: _____

Fax: _____

Either party may change its address specified in this paragraph by giving the other party notice of such change in accordance with this paragraph.

- 20. This Agreement shall in all respects be interpreted, construed and enforced in accordance with the laws of the State of Washington (without reference to rules governing conflict of laws), except to the extent such laws may be preempted by the laws of the United States of America.
- 21. This Agreement constitutes the entire agreement of the parties with respect to the subject matter hereof and all other agreements and understandings of the Parties, whether written or oral, with respect to the subject matter of this Agreement are hereby superseded in their entireties.
- 22. This Agreement shall be binding upon and inure to the benefit of the respective successors, assigns, purchasers, and transferees of the parties, including but not limited to, any entity to which the rights or obligations of a party are assigned, delegated, or transferred in any corporate reorganization, change of organization, or purchase or transfer of assets by or to another corporation, partnership, association, or other business organization or division thereof.

Government Entity: City Sedro Woolley

Company: PUGET SOUND ENERGY, INC.

BY _____

BY _____

ITS _____

ITS _____

Date Signed _____

Date Signed _____

Approved as to form:



Scope of Services
Voice Assessment Consulting
City of Sedro Wolley
August 3, 2007

The following tasks and deliverables are offered to assess and evaluate the technology alternatives for voice communications for the City of Sedro Woolley. Northwest Information services will apply a proven methodology to assess the needs of the City and provide investment alternatives. The following are the tasks and deliverables:

Phase 1: Assessment and Alternatives

- ✚ Perform a client kick off Meeting
 - Determine sources of information and key stakeholders
 - Prepare project plan and schedule
 - Identify major milestones and resources
 - Assign tasks and responsibilities

- ✚ Review or document current voice and data networking
- ✚ Apply discovery methodology to determine needs and applications (up to 3 personal interviews, 4 telephone interviews, 2 group meetings and 20 user surveys)
- ✚ Analyze local services, calling patterns, dialing plans and traffic studies
- ✚ Inventory physical requirements
- ✚ Report and validate findings with City management
- ✚ Research high level technology solutions and investment
- ✚ Recommend technology direction
- ✚ Research and develop alternatives within technology direction
- ✚ Narrow alternatives to feasible set (up to 3)
- ✚ Provide high level budgetary investment for selected alternatives
- ✚ Make written recommendation and validate with city management
- ✚ Participate in council briefing session (optional)

Investment Phase 1 \$14,550

The above investment is offered on a lump-sum contract basis. The City may choose the various proposed phases in part or in whole. NIS will invoice the City on a percentage of project completion basis based on a calendar month. Terms of payment are net 30 days. Expenses are additional and would include the cost of printing and administration (\$35 per hour). Such expenses would not exceed \$400 per Phase.

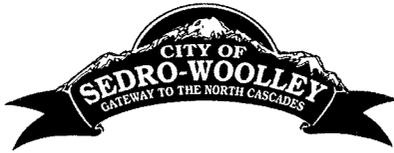


Phase 2: System Procurement

In this phase, NIS would design a voice system and specify the business and technical requirements for the procurement of the voice system. The procurement process could be formal or informal. The approach required significantly affects the breadth of the consulting services. As the project progresses in phase 1, a determination will be made as to the technology direction and the appropriate procurement process which is typically a function of investment thresholds. Investment in this phase will be defined and determined in Phase 1.

Phase 3: Project Management and Quality Assurance

In this phase, NIS will coordinate City and vendor resources during the implementation and installation of the voice platform. NIS will champion coordination meetings and track action items. In addition, NIS will manage project communications, changes and escalate as needed. During installation, NIS will lead as the point-of-contact for the users and vendors during cut-over and inspect the completion of the work and the operation of the system. A final corrective list is developed and tracked to completion for system acceptance. Investment in this Phase is determined in Phase 2 as a result of final vendor negotiations. In the final contract, the project management responsibilities of the vendor are finalized which enables the role of NIS to be more fully understood.



Building, Planning and Engineering Dept.
Sedro-Woolley Municipal Building
720 Murdock Street
Sedro Woolley, WA 98284
Phone (360) 855-0771
Fax (360) 855-0733

MEMO:

To: Eron Berg

From: Eric Potash

Date: August 13, 2007

Subject: Bingham Park office remodel.

CITY COUNCIL AGENDA
REGULAR MEETING

AUG 28 2007

6 PM, COUNCIL CHAMBER
AGENDA NO. 8

On August 13, 2007 Jack Moore and I met with Shane Walley to inspect the existing structure at Bingham Park being considered for a remodel. Our main concern was the condition of the foundation, as we looked at the structural supports and observed the old framing practices from when that structure was built we noted several things that were unacceptable and or needed repair. The existing foundation is a post and pier system, not a continuous foundation. Here is a list of items needed to properly support this structure.

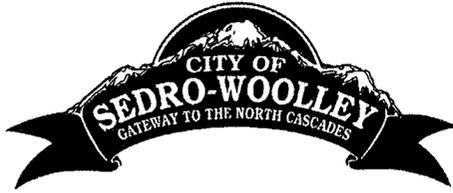
1. Provide an under floor access.
2. Replace rotten sub floor in several areas.
3. Replace posts, footings and any rotten joist or girders.
4. Install a moisture barrier in crawlspace.
5. Provide proper ventilation.

If you have any questions, please contact me at any time.

Thank you,

Eric Potash
Building Inspector
Phone: (360) 855-0771
Fax: (360) 855-0733
E-mail: epotash@ci.sedro-woolley.wa.us

Cc: Jack Moore, Planning Director & Building Official



CITY COUNCIL AGENDA
REGULAR MEETING

CITY OF SEDRO-WOOLLEY
Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 9

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
RE: Adoption of the "Optional Municipal Code", RCW 35A
DATE: August 22, 2007

ISSUE: Should the Council adopt the proposed ordinance adopting the classification of a noncharter code city?

BACKGROUND: This item has been presented and discussed in the past and was the subject of a resolution of intent from May of this year.

The process for becoming a noncharter code city is:

1. Determination by the City Council that adopting the code is in the best interests of the City;
2. Passage of a resolution of intent (the resolution attached to this memo);
3. Publication of that resolution of intent within 10 days of passage;
4. Following that, a 90 day window opens during which citizens may file a referendum to allow the voters to vote directly on this issue, and assuming no referendum is qualified for the ballot;
5. Adoption of the ordinance adopting the classification of a noncharter code city.

The Council adopted the resolution of intent and it was published as required by law. No referendum petition was filed during the 90 days following the publication of the resolution. We are now ready for the final action which is the adoption of the ordinance.

RECOMMENDATION: Motion to adopt the ordinance adopting the classification of a noncharter code city.

ORDINANCE NO.

AN ORDINANCE adopting for the City of Sedro-Woolley the classification of Noncharter Code City pursuant to the Optional Municipal Code of the State of Washington, Ch. 35A.02 RCW.

WHEREAS, the City Council by Resolution No. 741-07 passed May 9, 2007, declared its intention to adopt for the City of Sedro-Woolley the classification of noncharter code city retaining the mayor-council plan of government under which it is now operating; and

WHEREAS, said resolution was duly published in the Courier-Times, a newspaper of general circulation with the City of Sedro-Woolley on May 16, 2007, and;

WHEREAS, A period of not less than ninety (90) days from the date of Resolution No. 741-07's publication, excluding the date of the first publication, has elapsed and no timely and sufficient referendum petition has been filed, pursuant to Section 35A.02.035 RCW; and

WHEREAS, the City Council now desires to effect the intent expressed in Resolution No. 741-07 by enacting an ordinance adopting for the City the classification of noncharter code city in the manner hereinafter provided; Now, Therefore;

THE CITY COUNCIL OF THE CITY OF SEDRO-WOOLLEY DO ORDAIN AS FOLLOWS:

Section 1. There is hereby adopted for the City of Sedro-Woolley, Washington, the classification of noncharter code city retaining the mayor-council plan of government under which the City of Sedro-Woolley is currently operating.

Section 2. That the Clerk/Treasurer is hereby authorized and directed to forward to the secretary of state a certified copy of this ordinance for filing pursuant to Section 35A.02.040 RCW.

Section 3. This ordinance shall take effect five (5) days from and after its passage, approval, and publication as provided by law.

PASSED by majority vote of the members of the Sedro-Woolley City Council this 22nd day of August, 2007, and signed in authentication of its passage this 23rd day of August, 2007.

Mike Anderson, Mayor

Attest:

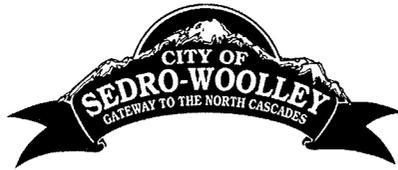
Patsy Nelson, Clerk/Treasurer

Approved as to form:

Eron Berg, City Attorney

Published _____

NEW BUSINESS



Building, Planning and Engineering Dept.

Sedro-Woolley Municipal Building

720 Murdock Street

Sedro Woolley, WA 98284

Phone (360) 855-0771

Fax (360) 855-0733

MEMO:

To: City Council

From: Jack Moore,
Planning Director & Building Official

Date: August 22, 2007

Subject: Annual Comprehensive Plan Update – Rezone Request

CITY COUNCIL AGENDA
REGULAR MEETING
AUG 22 2007
7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 10

Background

The Sedro-Woolley Planning Commission held a public hearing July 17, 2007 to hear testimony regarding a proposed amendment to the Comprehensive Plan. The proposed amendment was a site specific land-use map amendment that was initiated by the property owner, Adolf W. Bucko. This was the only proposed Comprehensive Plan amendment for 2007. The minutes and the staff report from this public hearing are attached for your reference. The Planning Commission voted to recommend denial of the proposed land-use map amendment to the Comprehensive Plan.

Planning Commission Public Hearing

At the Planning Commission public hearing, staff outlined its concerns about the proposed rezone. Also at the hearing, several interested parties submitted testimony on the proposed site specific rezone requested by Mr. Bucko. Two neighbors spoke against the proposed rezone, citing concerns about having Mixed Commercial land in their back yards, increased traffic in the area, flooding issues in the area and the affects of multi-family housing on the current neighbors and their property values. The Planning Commission found that the proposed rezone would have a significant impact on the neighborhood and the applicant did not adequately show a necessity to increase that amount of Mixed Commercial and/or R-15 zoned land in the City.

City Council Public Hearing

The City Council is holding its own public hearing August 22, 2007 to hear testimony regarding the proposed land-use map amendment and can vote to either: accept the Planning Commission's recommendation to deny the amendments; modify the proposed amendment; or adopt the proposed amendment. A vote to adopt the proposed amendment would need to be predicated by the completion of a study of how the rezone would impact population and employment allocation, a buildable lands analysis, and may require further public review.

Recommended Motion

The City Council may affirm, modify or disaffirm the recommendation of the Planning Commission. The recommended motion is:

"I move that we affirm the recommendation of the Planning Commission and **deny** the proposed 2007 Amendments to the Land-Use Map Comprehensive Plan which consists of one site specific Land-Use Map amendment."

**CITY OF SEDRO-WOOLLEY PLANNING COMMISSION
STATE OF WASHINGTON**

<p>In the Matter of:</p> <p>Rezone Application # <u>RZ-1-07</u> Adolf W. Bucko 820 McLean Drive Sedro-Woolley, WA 98284</p>	<p>REZONE REQUEST – FINDINGS OF FACT, CONCLUSIONS AND DECISION</p>
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This matter having come regularly before the City of Sedro-Woolley Planning Commission for a public hearing on **Tuesday, July 17, 2007** under an application filed with the City of Sedro-Woolley by the applicant requesting a public hearing and final decision by the City Council after an open record hearing and upon recommendation from the Planning Commission pursuant to SWMC 2.90.010(D)4 and as described by Planning Department Staff Report hereby attached and made a part of this decision (Exhibit 1).

Application Date:	January 30, 2007
Application Complete:	June 5, 2007
Decision:	Recommendation to deny rezone request
Hearing Date:	Tuesday, July 17, 2007
Property Owner:	Adolf W. Bucko 820 McLean Drive Sedro-Woolley, WA 98284
Project Proponent:	Adolf W. Bucko 820 McLean Drive Sedro-Woolley, WA 98284

Site Address:	501 & 505 F&S Grade Road and other unaddressed parcels	Parcel ID No.:	P37253, P37250, P37251, P37256 and P37151
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Zoning District: Residential-7 (R-7)

Description of proposed Land-Use Map amendment to the Comprehensive Plan

One citizen-generated proposed amendment to the Comprehensive Plan is on the 2007 Docket; no other amendments have been suggested by staff or other interested individuals. The proposed amendment will affect the Land-Use Map and has been proposed by the landowner, Adolf W. Bucko. No amendments that will result in a change in the intent of the Land-Use Element of the Comprehensive Plan, or any other elements of the Comprehensive Plan besides the Land-Use Map, have been proposed.

The owner of five contiguous parcels of land within the City of Sedro-Woolley has requested that the city rezone three of the parcels (totaling 9.46 acres) from Residential-7 (R-7) to Mixed Commercial and the two other parcels (totaling 15.38 acres) from R-7 to Residential-15 (R-15). The properties that surround the subject parcels are mostly zoned R-7, with the exception of one large School District owned parcel that is zoned Public. Brickyard Creek runs from east to west across three of the parcels.

Notice of the public hearing having been properly published and all matters submitted at the public hearing having been considered together with the testimony, evidence and exhibits in open hearing and made a part of the record in this matter, the Planning Commission makes the following:

FINDINGS OF FACT

1. On January 17, 24 and 31, 2007, the City of Sedro-Woolley advertised in the Courier Times that the deadline for accepting applications and proposals for Land Use Plan and Zoning Map Amendments, Urban Growth Area Boundary Amendments and proposed text amendments to the City's development regulations will be February 2, 2007.
2. On January 30, 2007, Adolf W. Bucko submitted a Rezone Application for five parcels he owns (totaling 24.84 acres) east of Klinger Estates, North of Cook Road and south of F&S Grade Road. The application was given the file number RZ-1-07.
3. No other citizen-generated amendment requests were received.
4. Upon review of the application materials with the applicant when he officially submitted the application materials on January 30, the Planning Department (Planning) found that the rezone request would result in a situation where some parcels would have two zoning designations on one parcel. This is termed a split zone, and the City does not allow split zoning. The applicant was informed at the time of application that the request would need to be altered to eliminate the split zone situation. Planning allowed the applicant to submit the application materials, thereby meeting the February 2 deadline for Land Use Map Amendments. The applicant was informed that revised application materials would be necessary in order for Planning to begin the application review process.

5. On March 12, 2007 Planning sent a letter to the applicant reminding him of the need to revise the application materials to eliminate the split zone situation.
6. On May 29 Planning sent a second letter requesting that the applicant revise the rezone application so the project may progress. Planning set a June 8, 2007 deadline for revising the application materials so the rezone request can be heard at the July 17 Planning Commission hearing.
7. On June 5, 2007 the applicant submitted revised application materials that remedied the split zone situation.
8. Rezone request #RZ-1-07 was accepted as administratively complete on June 5, 2007.
9. On June 19, 2007 Planning sent notification to the applicant that the application was complete.
10. On June 21, 2007, in compliance with Chapters 17.60 and 2.90 SWMC, notice of the Rezone Application and of the SEPA comment period was sent to all property owners within 500 feet of the subject parcels (P37253, P37250, P37251, P37256 and P37151).
11. On June 22, 2007, in compliance with the public notification requirements of Chapter 2.90 SWMC, the applicant posted at the project site three signs giving public notification of the Rezone Application and SEPA Comment Period.
12. Notice of the Rezone Application and SEPA Comment Period was published in the June 22, 2007 Skagit Valley Herald.
13. On June 29, 2007, Planning received comments from the Skagit River System Cooperative (Exhibit 2). Brickyard Creek, a known Coho salmon bearing stream, runs through the property. The Cooperative is concerned that higher density zoning on the land will have a negative impact on the creek and anadromous fish runs in said creek. In the letter it was pointed out that the applicant did not acknowledge in the SEPA Checklist that Brickyard Creek is a salmon bearing stream.
14. On June 29, 2007 Planning sent notification to the applicant that the Rezone Application would be considered by the Planning Commission on July 17, 2007.
15. On July 4, 2007, in compliance with the public notification requirements of Chapter 2.90 SWMC, notice was published in the Courier-Times that the Planning Commission will be holding a public hearing to hear testimony on the rezone request.
16. On July 6, 2007, in compliance with the public notification requirements of Chapter 2.90 SWMC, the applicant posted at the project site three signs giving public

notification that the Planning Commission will be holding a public hearing to hear testimony on the rezone request.

17. On July 17, 2007 the Planning Commission held an open record public hearing to receive testimony from City Staff, the applicant and the public. Planning Commission member Kevin Loy recused himself from the discussion because he lives across the street from the property that has been proposed for rezoning.
18. At the hearing staff presented the background of the proposed Land-Use Map Amendment and made a recommendation that the Planning Commission not recommend approval of the proposed Land-Use Map Amendment to the City Council.
19. Marek Bucko, the son of and representative for Adolf W. Bucko, spoke in favor of the proposed Land-Use Map Amendment at the public hearing.
20. Two members of the public commented during the public hearing:
 - Patrick Moran- 588 Cook Rd, Sedro-Woolley. Mr. Moran spoke against the proposed Land-Use Map Amendment request. Mr. Moran was concerned about: increased traffic in the area, including the intersection of F&S Grade Road and Garden of Eden Road; Mixed Commercial property in his back yard; flooding issues that already exist in the area; and potential property value depreciation due to proposed multi-family housing in neighborhood.
 - Mike Guadano- 214 Hawthorn St, Sedro-Woolley. Mr. Guadano spoke against the proposed Land-Use Map Amendment request. Mr. Guadano was concerned about: increased traffic in the area; Mixed Commercial property in his back yard; potential depreciation of his property due to multi-family housing and mixed-commercial property next to his property; and lack of parks in the area.
21. A site specific rezone application is subject to Chapter 17.52 and Chapter 2.90 SWMC. Chapter 17.52 addresses rezones and Chapter 2.90 defines the City's consolidated planning procedures.
22. A staff report dated July 11, 2007 (Exhibit 1) was submitted to and reviewed by the Planning Commission prior to the July 17 public hearing. The staff report included the following exhibits and are hereby made apart of the record:
 - A. Proposed Land-Use Map Amendment
 - B. Land-Use Map Amendment Application Materials
 - C. SEPA Checklist
 - D. Notice of Application and SEPA Comment Period
23. These Findings of Fact, Conclusions and Decision includes the following exhibits:
 - 1) Staff report dated July 11, 2007
 - 2) Skagit River System Cooperative letter dated June 29, 2007

CONCLUSIONS

The Planning Commission, having reviewed the staff report, the Land-Use Map Amendment application, all submitted documents by the applicant, the City of Sedro-Woolley development regulations and the City of Sedro-Woolley Comprehensive Plan makes the following conclusions:

1. Sedro-Woolley Municipal Code (SWMC) **Chapter 17.52 – Rezones** applies to this application as does **Chapter 2.90 – Consolidated Planning Procedures**.
2. The application was determined complete on June 5, 2007 and is considered vested under the rules and regulations in effect on June 5, 2007.
3. Notice of the public hearing was advertised in the Courier-Times, mailed to all property owners within 500 feet of the subject parcel and posted on site. One written public comment expressing concern about the proposed rezone was received prior to the July 17, 2007 hearing.
4. The Planning Commission held an open record hearing pursuant to SWMC 2.90.010(D)4 on July 17, 2007. Staff started the meeting by reading an overview of the proposal to Planning Commission.
5. At the July 17, 2007 public hearing, two oral testimonies concerning the proposed Land-Use Map Amendment were received. Both comments were in opposition to the proposal.
6. At the July 17, 2007 public hearing, staff concluded its comments with a recommendation to **not approve** the proposed Land-Use Map Amendment because, based on the information submitted by the applicant, field verification of the site conditions, public comments and the Sedro-Woolley Comprehensive Plan:
 - The applicant's narrative lacks a substantive review of the existing balance of residential, commercial and industrial zoned properties in the city.
 - The applicant has not shown that there is a lack of R-15 or MC property in the city.
 - The applicant provides no information to back up the applicant's assertion that the location is ideal for R-15 and MC land. The property has no frontage to a major street, only a narrow point of access to F&S Grade Road (a secondary arterial) and the 40' access to Cook Road (a principal arterial). The third point of access is to Thurmond Avenue, which is a local street and intended to provide access to local residences.
 - Although the applicant's stated intent is to use the MC property for a retirement facility, if the property is rezoned to MC the applicant must address the potential impacts ALL allowed uses in that zone, not just the potential impacts of a retirement facility. The uses allowed in the MC Zone have a potential to have a significant impact on the surrounding landowners,

the land itself (including critical areas on-site such as Brickyard Creek), and transportation systems in the area.

7. Marek Bucko, the son of and representative for Adolf Bucko, spoke in favor of the proposed Land-Use Map Amendment at the public hearing.
8. The Planning Commission discussed: the potential traffic impacts of upzoning such a large piece of land, particularly the impact on the intersection at F&S Grade Road and Garden of Eden Road; Whether the underlying zoning needs to be Mixed Commercial in order for a retirement facility to developed on the property; Access problems on the property; the affects of the proposed rezone on Brickyard Creek as a critical area and flooding issues related to the creek; The affect the proposal will have on the amount of buildable land in the R-7 and R-15 Zones; The fact that the applicant did not provide evidence of the need to increase the amount of R-15 and Mixed Commercial zoned land, nor the need to reduce the amount of R-7 zoned land in the City and; The need for the buildable lands analysis within the Comprehensive Plant to be updated.

DECISION

Based upon the foregoing, the Planning Commission recommends that the City Council **NOT APPROVE** the proposed Land-Use Map Amendment to rezone two parcels (P37253 and P37250) totaling 15.38 acres from R-7 to R-15, and three parcels (P37251, P37256 and P37151) totaling 9.46 acres from R-7 to Mixed Commercial.

CERTIFICATION

The City of Sedro-Woolley Planning Commission hereby recommends that the City Council **NOT approve** the request to rezone at a **REGULAR** meeting of the City of Sedro-Woolley Planning Commission held on **Tuesday, July 17, 2007**, at which time a quorum was present. The **motion to deny** the Land Use Map Amendment/Rezone RZ-1-07 passed by a vote of **4 FOR, 0 AGAINST**, with **0 ABSTENTIONS**.



Dan Lefeber, Planning Commission Chairman

8-9-07

Date

CITY OF SEDRO-WOOLLEY

Planning Department
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Sedro-Woolley, WA 98284
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jcoleman@ci.sedro-woolley.wa.us

EXHIBIT 1

STAFF REPORT
2007 Amendments – Comprehensive Plan Amendments
Citizen generated Land Use Map change applications
Planning Commission Public Hearing: July 17, 2007

Comprehensive Planning Background

The City of Sedro-Woolley Comprehensive Plan is a guiding policy for how the City will manage and/or address issues associated with growth and development in Sedro-Woolley. The Comprehensive Plan is a requirement of the State Growth Management Act, Chapter 36.70A RCW and addresses thirteen planning goals, without bias towards any goal. The goals address: urban growth, reduce sprawl, transportation, housing, economic development, property rights, permits, natural resources, open space/recreation, environment, citizen participation, public facilities and service, and historic preservation.

Per RCW 36.70A.130, amendments to the Comprehensive Plan and the Land Use Map shall not be considered more than once per year. Amendments may be suggested by citizens, staff of elected officials. All proposed amendments to the Comprehensive Plan are considered at one time; this list of proposed amendments is termed the “Docket.”

Summary of Proposed Changes

One citizen-generated suggested amendment (Exhibit A) to the Comprehensive Plan is on the 2007 Docket; no other amendments have been suggested by staff or other interested individuals. The proposed amendment will affect the Land Use Map and has been proposed by the landowner, Adolf W. Bucko. No amendments that will result in a change in the intent of the Land Use Element of the Comprehensive Plan, or the Comprehensive Plan in general, have been proposed.

I. Land Use Map amendments – The criteria for approving Land Use Map amendments/rezone applications is determined in Sedro-Woolley Municipal Code Section 17.52.040 “Application criteria. The criteria upon which rezone applications are judged shall be in conformance to the comprehensive plan.”

COPY ORIGINAL

Applicant: Adolf W. Bucko

Location: Approximately 24.84 acres east of Klinger Estates, North of Cook Road and south of F&S Grade Road.

Current zoning: Residential-7 (R-7)

Requested zoning: Two parcels (P37253 and P37250) totaling 15.38 acres are proposed to be changed to Residential-15 (R-15), and three parcels (P37251, P37256 and P37151) totaling 9.46 acres are proposed to be changed to Mixed Commercial (MC).

Background: Property in all directions is zoned Residential-7 (R-7), except for one large parcel to the southwest that is zoned Public and one parcel across Cook Road which is zoned MC. The property has very little frontage to existing roads, but has three access points. One is a 40' wide access point from Cook Road that runs a distance of 127' before reaching the larger expanses of the property. This 40' access "arm" is part of a parcel that is proposed as MC and runs between parcels that are zoned R-7. It is at the south end of this arm where the property abuts other land zoned MC. Also, parcel P37251 has a 20' wide arm that runs north/south between the two proposed R-15 parcels. This is an awkward parcel arrangement that will ultimately require a boundary line adjustment to avoid potential setback problems and make that arm useable.

Relevant portions of the *Vision Statement* from the Comprehensive Plan:

The following are excerpts from the Comprehensive Plan that are relevant to the proposed zoning change. After each excerpt is staff's comments on how the proposed rezone does or does not meet the Comprehensive Plan. Comprehensive Plan language appears in *italics* and staff comments are in regular font.

Growth and Land Use

Citizens recognize the need for the City to grow. The City expands slowly through annexations primarily for residential development. This is done in an environmentally and aesthetically sane way, under compliance with the State's Growth Management Act. Even though the City's residential sector is growing, planning efforts strive to maintain an intentional balance of residential, commercial, and light industrial uses.

The proposed rezone does meet the vision of the City's need to grow, and it may help the City meet the vision of an intentional balance of residential, commercial and light industrial uses. The increased density of housing that the proposed R-15 land represents will allow for additional infill and thereby meet the goals of the State Growth Management Act by reducing the need to expand the City urban growth area (UGA). However, the applicant has not shown the need for additional multi-family or commercial land within the city limits. In the rezone application materials (see Exhibit B), the applicant states: "**This property is ideally located for R-15 and mixed commercial zoning. The property is located adjacent to R-15, commercial, public and residential zoning.**" This is not entirely true in that the property is not adjoining the R-15 Zone and it is not truly adjacent to the MC

Zone; it is adjoined to existing MC zoned land at a 40' wide access point that is across Cook Road. The applicant continues:

“The R-15 zoning will benefit the city in the future by:

- **Lowering the city’s initial developing costs and future maintenance costs such as water, sewer and sanitation services.**
- **Preserving farmland and open space. Diminishing urban sprawl.**
- **Increasing city’s revenue base. Increasing local business revenues.**
- **Creating more affordable housing for new families.**

The Mixed Commercial zoning is not anticipated to be used as “Retail Shops” but rather as a retirement community which would greatly benefit the city in the future by:

- **Giving job opportunities to local residents.**
- **Not putting extra burden on the police department.**
- **Not putting extra strain on the school district.**
- **Increasing local businesses revenues, which are located within walking distance.”**

Staff has several concerns about the proposal:

- The applicant’s narrative lacks a substantive review of the existing balance of residential, commercial and industrial zoned properties in the city.
- The applicant has not shown that there is a lack of R-15 or MC property in the city.
- The applicant provides no information to back up his assertion that the location is ideal for R-15 and MC land. The property has no frontage to a major street, only a narrow point of access to F&S Grade Road (a secondary arterial) and the 40’ access to Cook Road (a principal arterial). The third point of access is to Thurmond Avenue, which is a local street and intended to provide access to local residences.
- Although the intent is to use the MC property for retirement community, if the property is rezoned to MC the applicant must address the impacts all allowed uses in that zone. The uses allowed in the MC Zone have a potential to have a significant impact on the surrounding landowners, the land itself (including critical areas on-site such as Brickyard Creek), and transportation systems in the area.

Without empirical evidence showing a need for additional multi-family zoned land, the City should not consider changing the balance of residential zone densities. The same applies to the proposed commercial land. No evidence of a need for more commercial land has been presented by the applicant, nor has evidence that the location of the proposed commercial land is appropriate for commercial use. The current amount of land in each zone was developed following the completion of a buildable lands analysis and a public review process. To alter this intentional balance, the applicant should clearly show the need for the change, which has not been done.

Economic Development

Sedro-Woolley's job base is strong and vital. The City is economically self-sustaining and is not considered a "bedroom community" for larger cities in the region. Residents who live here can also work here. Sedro-Woolley is home to a diverse collection of larger employers. An occasional slump in one area will not depress the entire economy. The retail and tourism focus of the City is in the Central Business District and is complemented by larger businesses at commercial nodes in various parts of the City. Professional offices, light industry, and support services are sited at these nodes. Industrial Parks in Sedro-Woolley are complete and fully utilized.

The proposed change of 9.6 acres of R-7 zoned land to MC will create a new commercial node within the city. The need for a new commercial node should be shown by the applicant (as discussed above) and subject to public review by the citizens of Sedro-Woolley. That issue notwithstanding, the proposed mixed commercial land fits with the vision of a vibrant and diverse economic employment base.

Other Commercial Development

Both commercial and light industrial businesses are encouraged in Sedro-Woolley. Zoning keeps commercial strip development along the highways from sprawling. Rather, nodes of service-type enterprises along the main roads thrive. Development in these areas caters to the highway traveler and does not compete with downtown retail and tourism. Open space and green areas are maintained in the City's zoning ordinance, and further promoted in the growing areas of the City. The downtown retail core is primarily retail businesses with some service businesses.

The proposed addition of 9.6 acres of Mixed Commercial land is consistent with the vision to encourage commercial business in Sedro-Woolley. However, the vision also seeks to prevent commercial strip development from sprawling away from main roads; this proposal is for MC zoned land that has no frontage to the City's major roads which is inconsistent with the commercial development vision.

Housing

Most residential neighborhoods are zoned to protect the dominance of the single family home. However, smaller lots are encouraged to protect Sedro-Woolley's hinterlands from sprawl. Infill development in the older neighborhoods consists primarily of duplexes and accessory dwelling units that are designed to compliment existing neighborhoods. Within the Central Business District, apartments on the upper stories of shops are encouraged. Sedro-Woolley offers a variety of housing types to meet the needs of its diverse citizens.

The proposal provides a capacity for more housing units by converting R-7 land to R-15. The applicant does not provide an analysis of how many R-7 lots will be lost and how many units the new R-15 land can support. Critical areas, parks, roads and stormwater infrastructure need to be figured into the actual amount of land available

to get an accurate determination of how many units the total 24.84 acres could support. The applicant has neither performed an analysis that shows the housing availability for the 24.84 acres in its current status as R-7 nor for the proposed rezone. Therefore an accurate account of the impact on the housing availability is unknown.

Relevant Comprehensive Plan Goals and Policies:

1. *Policy LU1.5: Buffer commercial and industrial land uses when they abut residential development.* The proposal is inconsistent with this policy because it will result in a situation where there is MC Zone in the backyard of 17 existing residential properties as well as the R-15 property that the applicant has proposed. The shape of parcel P37251 will need to be altered to allow the two proposed R-15 parcels to adjoin each other. Currently P37251 has a 20' wide "arm" that runs north/south between the two proposed R-15 parcels.
2. *Policy LU1.6: Provide for limited commercial development catering to auto-oriented customers and along State Route 20, outside the Central Business District.* The proposal is consistent with this policy because it allows for additional commercial property in a location that is not along State Route 20. The proposal is inconsistent with this policy because the location is off of a main road, thus it is not ideal for auto-oriented commercial activity.
3. *Policy LU3.1: Coordinate land use decisions with the Transportation and Capital Facilities Elements of the Comprehensive Plan.* The proposal is inconsistent with this policy because the transportation needs of property have not been addressed as required by the Transportation Element of the Comprehensive Plan. The proposal is to increase the up-zone for multi-family housing and to add commercial activity to the property. Multi-family housing and commercial activity generate a much higher level of traffic than does land zoned for single family residences. The applicant proposes no measures or studies to accommodate the assumed higher volumes of traffic. Also, staff is extremely concerned about the ability of the three small access points to the property to support the potential level of traffic that the proposal may generate, particularly the 40' access to Cook Road.
4. *Policy P2.1: Increase the amount of natural areas to be preserved within Sedro-Woolley's developed urban area, especially along shorelines, steep hillsides, wetlands and stream corridors.* The proposal has the potential to be consistent with this policy if the Brickyard Creek riparian corridor is protected and a trail system along the creek is secured. The Sedro-Woolley Critical Areas Ordinance (Chapter 17.65 SWMC) addresses the Brickyard Creek riparian corridor and has mechanisms that would require the dedication of buffers and potentially open-space amenities such as interpretive signs, trails and other amenities that are meant for low-impact use by the general public.

5. *Policy H4.1: Develop a mix of multi-family residential units and single-family units throughout the community.* The proposal is inconsistent with this policy as it will result in a large tract of multi-family housing, not a mixture of housing types as the policy intends.
6. *Policy H4.5: Require that developed and designed residential structures comply with the critical areas ordinances such as wetlands, frequently flooded areas, drainage, steep slopes, aquifer recharge areas, migratory routes and natural wildlife habitat [including stream corridors].* See discussion under Policy P2.1 above.
7. *Policy E1.1: Create employment opportunities within the Sedro-Woolley economy, particularly for residents who now commute to other distant employment areas.* The proposal is consistent with this policy because it will result in more commercial land and potentially more employment opportunities within Sedro-Woolley.
8. *Policy E1.3: Identify and promote sites which can be developed for a variety of local employment projects. Promote development of business and industrial parks, office and professional centers, and specialized commercial and entertainment centers.* The proposal is inconsistent with this policy because no identification process was followed to nominate this location as a new node of commercial activity. Although there are positive aspects to this location, such as its large size and lack of current development, that make it an attractive commercial property, there are significant drawbacks to this property that make it a poor location for commercial development.
9. *Policy E2.5: Reserve certain capable lands and sites for employment-related developments. Provide a suitable supply of commercial, retail, business, office and industrial lands within Sedro-Woolley to reduce commuting requirements to outside areas for employment opportunities.* The proposal is consistent with this policy because it will result in more commercial land and potentially more employment opportunities within Sedro-Woolley.
10. *Policy E2.6: Create local employment, shopping and other urban service activities that reduce Sedro-Woolley's dependence upon other urban areas.* The proposal is consistent with this policy because it will result in more commercial land and potentially more employment opportunities within Sedro-Woolley.
11. *Policy T3.2: Ensure that street size is sufficient (and not excessive) to support proposed land use density.* The proposal is inconsistent with this policy because the transportation needs of property have not been addressed as required by the Transportation Element of the Comprehensive Plan. The applicant proposes no measures or studies to accommodate the assumed higher volumes of traffic generated by the proposal to change the zoning to allow more intensive uses. Also, staff is extremely concerned about the ability of the three small access points to the

property to support the potential level of traffic that the proposal may generate, particularly the 40' access to Cook Road.

Recommendation: Based on the findings above, staff recommends that the Planning Commission *deny* the request by Adolf W. Bucko to rezone two parcels (P37253 and P37250) totaling 15.38 acres from R-7 to R-15 and three parcels (P37251, P37256 and P37151) totaling 9.46 acres from R-7 to MC. This proposal would have much more merit if some neighboring parcels to the south (along north side of Cook Road) are included so as to improve frontage along major streets and to avoid the conflict of having Mixed Commercial land in the backyards of residences. In essence, more study of the impacts of such large-scale rezone need to be performed by the applicant and provided to the City.

Environmental Documents: The SEPA lead agency (City of Sedro-Woolley) has not yet issued a SEPA threshold determination. A SEPA Checklist (Exhibit C) was submitted with the original application materials and a *Notice of Application and SEPA Comment Period* (Exhibit D) for the proposed land use map change was issued on June 22, 2007. The comment period ended on July 6, 2007. A threshold determination has been postponed until after the issue has been discussed at the Planning Commission hearing scheduled July 17, 2007. There is an existing Environmental Impact Statement for the subject property that the applicant had prepared in 1980 for a previous proposal that was never built.

Public Participation: Interested parties can comment on the proposed changes in writing or at the hearing. Complete project files are available for review at the Planning Department located at 720 Murdock Street, Sedro-Woolley. The Sedro-Woolley Planning Commission will make a recommendation to the City Council on the proposed amendments.

The City Council will hold a public hearing July 17, 2007 at 6:30 PM at the City Hall Court Room located at 220 Woodworth Street. Any persons with disabilities who need assistance to participate in either hearing should contact the Planning Department for special arrangements.

Notice of Public Hearing published in the Courier Times: July 4, 2007

Exhibits:

- A. Proposed Land Use Map Amendment
- B. Land Use Map Amendment Application Materials
- C. SEPA Checklist
- D. Notice of Application and SEPA Comment Period



John Coleman, Associate Planner

Date: 7.11.07

marek Bucko.
757-2202

CITY OF SEDRO-WOOLLEY

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Application for Comprehensive Plan and/or Zoning Map
Amendment

Text Amendment ~~Number of Acres to be Zoned Amount of Units per~~
 Map Amendment

EXHIBIT B

(Check all that apply)

Note: This application is available as a Word document. Include additional information as necessary on additional sheets of paper and attach to this application.

Name: Adolf W. Bucko and Maria T. Bucko

Address: 820 McLean Dr., Sedro-Woolley, WA 98284

Phone: (360) 856-6922 E-mail: _____

1. Describe the purpose or goal of the proposed amendment:

Rezoning of R-7 property to R-15 and mixed commercial (MC).

2. How will this improve or benefit the City of Sedro-Woolley in the future?
Amendment to the text:

This property is ideally located for R-15 and mixed commercial zoning. The property is located adjacent to R-15, commercial, public and residential zoning.

The R-15 zoning will benefit the city in the future by:

- Lowering the city's initial developing costs and future maintenance costs such as water, sewer, and sanitation services.
- Preserving farmland and open space. Diminishing urban sprawl
- Increasing city's revenue base.

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- Increasing local businesses revenues.
- Creating more affordable housing for new families.

The Mixed Commercial zoning is not anticipated to be used as “Retail Shops” but rather as a Retirement Community facility which would greatly benefit the city in the future by:

- Giving job opportunities to local residents.
- Not putting extra burden on the police department
- Not putting extra strain on the school district.
- Increasing local businesses revenues, which are located within walking distance.

3. List the proposed or amended text:

R-15 and mixed commercial.

For an amendment to the land use map, complete the following items:

4. Name of property owner. If applicant is not the owner, attach a signed statement from the legal owner agreeing to this application:

Adolf W. Bucko and Maria T. Bucko

5. Legal description of property(s):

See Attachment A

6. Describe the property: size, terrain, and critical areas:

24.84 acres of flat land with brickyard creek running through it.

7. Assessor’s 18 X 24” section map of property with subject property highlighted. Other maps may be submitted that help support your proposal.

8. Current land use designation/zoning:

R-7

9. Land use designation/zoning for property surrounding the subject property:

North: R-7 South: Commercial, Public and R-7

East: R-7 West: R-15

10. Actual use of land on this site and on all the surrounding property:

The property is currently zoned R-7 with two dwelling units on it. The surrounding property is used as commercial retail, four plexus, school bus garage, and residential.

11. Proposed designation:

R-15 and Mixed Commercial

12. Supporting information for your request: This is an ideal location for high density residential and mixed commercial zone. Property is located walking distance to retail stores

13. Completed SEPA Checklist:

14. Names and addresses of property owners within 500' of the subject property. See attached instructions.

See Attachment B

Process:

1. Applications will be accepted through _____.
2. Applications will be reviewed for completeness. Additional information may be necessary to clarify the application.
3. The Planning Commission reviews all applications and decides which ones merit further study. Applicants will be notified of results of this review. Those which will be reviewed further will be required to pay the **application fee of \$200.00**.
4. Public hearing held on those recommended by the Planning Commission.
5. Planning Commission forwards its recommendations to the City Council.
6. City Council votes on recommendations (may have additional public hearing, or hold joint hearing with Planning Commission, above.)

Mailing Procedure

1. Obtain a list of names and addresses of property owners within 500 feet of the edge of the subject property. In determining the outside edge, include all other adjacent property owned by the applicant. The source of the names and addresses must be the Skagit County Assessor's records.
2. Prepare an additional label for residents where the owner's mailing address is outside the notification area (absentee owners).
3. Prepare 3 sets of mailing labels for this list. Include the applicant.
4. Obtain a map showing the subject property and all properties on the mailing list. This is available at the Assessor's office.
5. Fill out and sign the affidavit below.
6. Bring the list, labels, map, and affidavit to the city Planning Department.

Attachment A

Legal description of Bucko's properties comprehensive plan and rezoning application.

Parcel Number: P37253

XrefID: 350423-1-010-0004

Acres 9.73

Legal Description:

O/S#9 AF#200003140007 2001 NW1/4 SE1/4 NE1/4 EXC W 184 FT S OF CO DRN DITCH

Parcel Number: P37250

XrefID: 350423-1-008-0107

Acres: 5.65

Legal Description:

O/S#9 AF#200003140007 2001 NE1/4 SE1/4 NE1/4 AKA TR 1 S/P SW 05-80 APP 7-22-80
AF#8007230029 TGW W 20 FT N 460.96 FT NE1/4 SE1/4 NE1/4

Parcel Number: P37251

XrefID: 350423-1-008-0206

Acres: 4.25

Legal Description:

O/S#9 AF#2000030140007 2001 PTN NE1/4 SE1/4 NE1/4 AKA TR 2 S/P SW DT 14 05-80 APP 7-22-80
AF#8007230029 TGW W 20FT NE1/4 SE1/4 NE1/4 & E 20FT NW1/4 SE1/4 NE1/4 ADJ

Parcel Number: P37256

XrefID: 350423-1-012-0002

Acres: 4.28

Legal Description:

O/S#9 AF#200003140007 2001 N1/2 SE1/4 SE1/4 NE1/4 ALSO S 10FT LESS DT 14 E 127.6FT TGW E
20FT SW1/4 SE1/4 NE1/4 & W 20FT S1/2 SE1/4 SE1/4 NE1/4

Parcel Number: P37151

XrefID: 350423-1-008-0206

Acres: .93

Legal Description:

O/S#9 AF#200003140007 2001 TH PTN OF SE1/4 SE1/4 NE1/4 SEC 23 DAF BAT NE COR OF SD
SUB TH N 89-49-55 W ALG THE N LINE OF SD SUB 127.54FT TO NE COR OF TH PAR DESC IN
SWD TO ADOLF BUCKO & MARIA BUCKO AF#863875 TH S 00-31-28 E ALG THE E LINE OF SD
BUCKO PAR 317.82FT TO NE COR OF TH PAR DESC IN SWD TO FRED KING & LIZZIE KING
AF#366139 TH N 89-48-49 E ALG THE PROLONGATION OF THE N LINE OF SD KING PAR
127.57FT TO E LINE OF SD SUB TH N 00-31-54 W ALG THE E LINE OF SD SUB 317.03FT TO
POB(DT14)

Attachment A

Legal description of Bucko's properties comprehensive plan and rezoning application.

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O/S#9 AF#200003140007 2001 NW1/4 SE1/4 NE1/4 EXC W 184 FT S OF CO DRN DITCH

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AF#8007230029 TGW W 20FT NE1/4 SE1/4 NE1/4 & E 20FT NW1/4 SE1/4 NE1/4 ADJ

Parcel Number: P37256

XrefID: 350423-1-012-0002

Acres: 4.28

Legal Description:

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127.57FT TO E LINE OF SD SUB TH N 00-31-54 W ALG THE E LINE OF SD SUB 317.03FT TO
POB(DT14)



Section 1



8/14/10 SD

This map was prepared with the intent of providing the public with a general overview of the configuration of this area. This map does not constitute a deed or any other legal instrument. It is not intended to be used for any other purpose than for reference.

DATE	INITIALS
DRAWN BY	10/24/10
REVISION	10/24/10
PLOTTED	08/14/10
BY	SD
SCALE	AS SHOWN

NE 1/4

Section 2, 3

35 N R 4

Purpose of checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:

Rezoning Bucko Property

2. Name of applicant:

Adolf W. and Maria T. Bucko

3. Address and phone number of applicant and contact person:

820 McLean Drive

Sedro-Woolley, WA 98284

Phone# 360 856-6922

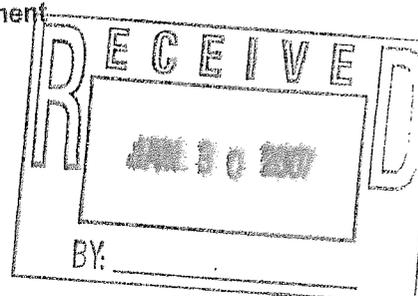
Contact Person: Adolf Bucko

4. Date checklist prepared: **01/27/2007**

5. Agency requesting checklist: **Sedro-Woolley Planning Department**

6. Proposed timing or schedule (including phasing, if applicable):

30 to 60 days after approval of rezoning



7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

NO

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Attached is a copy of an environmental impact statement, which has been done for this property.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. **None are known of.**

10. List any government approvals or permits that will be needed for your proposal, if known.

NONE

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

Multi family dwelling units with some mixed commercial facilities.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

Requesting rezoning of 24.84 acres from r-7 to r-15 and Mixed commercial . The property is located between Cook road and F&S grade rode. See attached map.

Parcel Number: P37253

XrefID: 350423-1-010-0004

Acres: 9.73

Legal Description:

O/S#9 AF#200003140007 2001 NW1/4 SE1/4 NE1/4 EXC W 184 FT S OF CO DRN DITCH

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XrefID: 350423-1-008-0206

Acres: 4.25

Legal Description:

O/S#9 AF#2000030140007 2001 PTN NE1/4 SE1/4 NE1/4 AKA TR 2 S/P SW DT 14 05-80 APP 7-22-80 AF#8007230029 TGW W 20FT NE1/4 SE1/4 NE1/4 & E 20FT NW1/4 SE1/4 NE1/4 ADJ

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XrefID: 350423-1-012-0002

Acres: 4.28

Legal Description:

O/S#9 AF#200003140007 2001 N1/2 SE1/4 SE1/4 NE1/4 ALSO S 10FT LESS DT 14 E 127.6FT TGW E 20FT SW1/4 SE1/4 NE1/4 & W 20FT S1/2 SE1/4 SE1/4 NE1/4

Parcel Number: P37151

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Acres: .93

Legal Description:

O/S#9 AF#200003140007 2001 TH PTN OF SE1/4 SE1/4 NE1/4 SEC 23 DAF BAT NE COR OF SD SUB TH N 89-49-55 W ALG THE N LINE OF SD SUB 127.54FT TO NE COR OF TH PAR DESC IN SWD TO ADOLF BUCKO & MARIA BUCKO AF#863875 TH S 00-31-28 E ALG THE E LINE OF SD BUCKO PAR 317.82FT TO NE COR OF TH PAR DESC IN SWD TO FRED KING & LIZZIE KING AF#366139 TH N 89-48-49 E ALG THE PROLONGATION OF THE N LINE OF SD KING PAR 127.57FT TO E LINE OF SD SUB TH N 00-31-54 W ALG THE E LINE OF SD SUB 317.03FT TO POB(DT14)

TO BE COMPLETED BY APPLICANT

EVALUATION FOR
AGENCY USE ONLY

B. ENVIRONMENTAL ELEMENTS

1. Earth

- a. General description of the site (circle one): Flat, rolling, hilly, steep slopes, mountainous, other
Flat pasture with seasonal creek running through the property.
- b. What is the steepest slope on the site (approximate percent slope)?
Flat property. Less than 2% slope

TO BE COMPLETED BY APPLICANT

EVALUATION FOR
AGENCY USE ONLY

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Soil type: #2 Sandy agricultural soil.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

NO

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

NONE

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

NO

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Road will be about 25%

Buildings will be about 50%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Not an issue on this property.

a. Air

a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Negligible

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

NONE

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

NONE

3. Water

a. Surface:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Seasonal creek -- Brickyard creek

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

Undetermined at this time

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

NONE

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

NO

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

NO

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

NO

b. Ground:

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

NO

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

NONE

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Normal road and roof water runoff. Appropriate retention pond will be constructed to meet regulations.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

NO

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Retention pond

4. Plants

a. Check or circle types of vegetation found on the site:

- _____ deciduous tree: alder, maple, aspen, other
- _____ evergreen tree: fir, cedar, pine, other
- _____ shrubs
- _____ grass
- _____ pasture
- _____ crop or grain
- _____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- _____ water plants: water lily, eelgrass, milfoil, other
- _____ other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

Grass and Blackberry bushes

c. List threatened or endangered species known to be on or near the site.

NONE

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Native plants will be used for landscaping

5. Animals

a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- birds: hawk, heron, eagle, songbirds, other:
- mammals: deer, bear, elk, beaver, other:
- fish: bass, salmon, trout, herring, shellfish, other:

NONE

b. List any threatened or endangered species known to be on or near the site.

NONE

TO BE COMPLETED BY APPLICANT

c. Is the site part of a migration route? If so, explain.

NO

d. Proposed measures to preserve or enhance wildlife, if any:

N/A

6. Energy and natural resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electricity and Natural gass

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No. Solar energy will be encouraged.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

Energy efficient appliances will be used

7. Environmental health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

NO

1) Describe special emergency services that might be required.

NONE

2) Proposed measures to reduce or control environmental health hazards, if any:

N/A

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

N/A

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Normal residential noise.

3) Proposed measures to reduce or control noise impacts, if any:

N/A

8. Land and shoreline use

a. What is the current use of the site and adjacent properties?

N/A

b. Has the site been used for agriculture? If so, describe.

Yes 20 year ago as pasture.

c. Describe any structures on the site.

1000 square foot 2 bedroom home

d. Will any structures be demolished? If so, what?

1000 square foot 2 bedroom home

e. What is the current zoning classification of the site?

R-7 Residential

f. What is the current comprehensive plan designation of the site?

Residential

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

NO

i. Approximately how many people would reside or work in the completed project?

450

j. Approximately how many people would the completed project displace?

2

k. Proposed measures to avoid or reduce displacement impacts, if any:

This project will create residential dwellings

TO BE COMPLETED BY APPLICANT

- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

N/A

9. **Housing**

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
middle to low income dwelling units.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

One unit

- c. Proposed measures to reduce or control housing impacts, if any:

10. **Aesthetics**

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

1 to 2 story buildings

- b. What views in the immediate vicinity would be altered or obstructed?

NONE

- c. Proposed measures to reduce or control aesthetic impacts, if any:

NONE

11. **Light and glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

NONE

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

NO

- c. What existing off-site sources of light or glare may affect your proposal?

none

- d. Proposed measures to reduce or control light and glare impacts, if any:

N/A

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?
This project is in between 2 parks. Bingham Park and Janicki playing field.
- b. Would the proposed project displace any existing recreational uses? If so, describe.
NO
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
N/A

13. Historic and cultural preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.
NO
- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site.
NONE
- c. Proposed measures to reduce or control impacts, if any:
N/A

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.
Proposed site has 3 exits. See attached map.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?
YES 300 Feet
- c. How many parking spaces would the completed project have? How many would the project eliminate?

Studio	1 space
1 bedroom	2 spaces
2 bedrooms	2 spaces
3 bedrooms	3 spaces
4 or more bedrooms	4 spaces
Visitor/overflow spaces	1 additional space per 8 units

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).
NO

TO BE COMPLETED BY APPLICANT

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

NO

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

See environmental impact statement.

- g. Proposed measures to reduce or control transportation impacts, if any:

NONE

15. Public services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

Yes, See environmental impact statement attached.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

none

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

All services are available

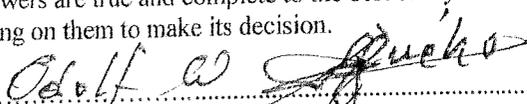
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Storm drainage as per code

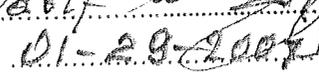
C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature:



Date Submitted:



D. SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS

(do not use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Storm drainage with retention pond will decrease water discharge during peak rain periods.

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

NONE

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

none

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Not applicable

Proposed measures to protect such resources or to avoid or reduce impacts are:

TO BE COMPLETED BY APPLICANT

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Not applicable

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

The existing infrastructure can handle it

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

Not an issue

CITY OF SEDRO-WOOLLEY
NOTICE OF APPLICATION AND SEPA COMMENT PERIOD

PROJECT DESCRIPTION: A non-project legislative action to consider amendments to the City of Sedro-Woolley Comprehensive Plan and Zoning and Land Use Map. The owner of five contiguous parcels of land within the City of Sedro-Woolley has requested that the city rezone three of the parcels (totaling 9.46 acres) from Residential-7 (R-7) to Mixed Commercial and the two other parcels (totaling 15.38 acres) from R-7 to Residential-15 (R-15). In compliance with the Growth Management Act, the request has been placed on the 2007 Comprehensive Plan Update Docket for consideration by the Planning Commission at a public hearing later in the summer of 2007. The Planning Commission will make a recommendation of approval, approval with conditions or denial to the City Council. The City Council will ultimately make the decision to approve or deny the rezone request. The properties that surround the subject parcels are mostly zoned R-7, with the exception of one large School District owned parcel that is zoned Public. Brickyard Creek runs from east to west across three of the parcels. No other critical areas are known to exist on-the parcels.

EXHIBIT D

Proponent: City of Sedro-Woolley
720 Murdock
Sedro-Woolley, WA 98284

Location of Property: The parcels that the applicant has proposed for rezoning are located on 24.84 acres of land on five parcels east of the Plat of Klinger Estates, north of Cook Road and south of F&S Grade Road in Sedro-Woolley, WA. The property can be accessed from 505 F&S Grade Road, Thurmond Avenue and the 600 block of Cook Road.

Environmental Review: The City of Sedro-Woolley has reviewed the proposed project for probable adverse environmental impacts and expects to issue a mitigated determination of non-significance (MDNS) for this project. The optional DNS process in WAC 197-11-355 is being used. Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts.

Documents are available for review at: The City of Sedro-Woolley Planning Department, 720 Murdock Street, Sedro-Woolley, WA 98284, Monday through Friday, 8:00 a.m. to 5:00 p.m. Environmental documents available include a SEPA checklist and an environmental impact statement for a project that was proposed on the property in 1980. For more information, contact John Coleman at the Sedro-Woolley Planning Department at (360) 855-0771.

Public Comment Period: The lead agency (the City of Sedro-Woolley) for this proposal has NOT yet made a threshold determination of whether or not the proposed project has a probable significant adverse impact on the environment. Interested persons may comment on the application and/or the SEPA determination, receive notice, participate in any hearings and request a copy of the decision. **Public comments must be received by 4:30 p.m. July 6, 2007** and should be submitted to the City of Sedro-Woolley Planning Department, 720 Murdock Street, Sedro-Woolley, WA 98284. Comments may be mailed or personally delivered and should be as specific as possible. **This may be your only opportunity to comment on the environmental impacts of the proposed project.**

John Coleman, Associate Planner
City of Sedro-Woolley Planning Department

Published in Skagit Valley Herald on June 22, 2007.



Skagit River System Cooperative

11426 Moorage Way • P.O. Box 368 LaConner, WA 98257-0368
Phone: 360-466-7228 • Fax: 360-466-4047 • www.skagitcoop.org

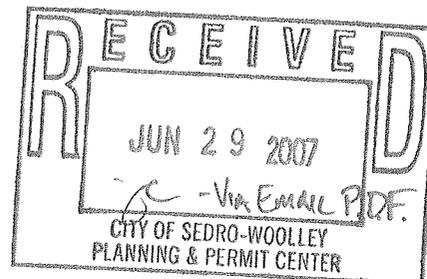
EXHIBIT 2

June 29, 2007

John Coleman
Associate Planner
City of Sedro Woolley

Electronic Correspondence

Reference: Bucko Property Rezone and SEPA Checklist



Dear Mr. Coleman:

Skagit River Cooperative makes the following comments on behalf of the Swinomish Indian Tribal Community and Sauk-Suiattle Indian Tribe.

The SEPA checklist prepared for this property is incorrect. Brickyard Creek is a known coho salmon stream with coho observed as far upstream of the project as the golf course on Fruitdale Road. Brickyard Creek may dry during portions of the year in the project area but the area is important seasonally to both juvenile and adult coho salmon and should require all the protections of a salmon stream including streamside buffers. The checklist also needs to reflect that the project area is a migration corridor for coho salmon.

SRSC is concerned that rezoning this property to higher density uses will lead to more impervious surfaces and further alter the hydrograph of Brickyard Creek. Higher density uses may also lead to proposals for buffer reductions that would impact coho salmon.

Thank you for the opportunity to comment on this proposed land use action.

Sincerely,

Stan M. Walsh
Environmental Services Manager
Skagit River System Cooperative



Skagit River System Cooperative

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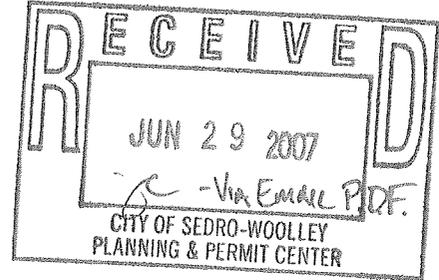
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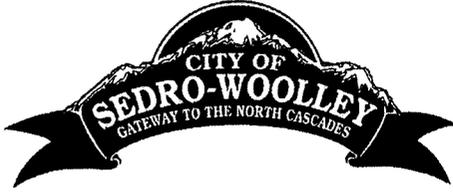
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Thank you for the opportunity to comment on this proposed land use action.

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Stan M. Walsh
Environmental Services Manager
Skagit River System Cooperative





CITY OF SEDRO-WOOLLEY
CITY COUNCIL AGENDA
REGULAR MEETING

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 11

Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
FROM: Eron Berg
RE: F&S Grade Road alignment
DATE: August 22, 2007

ISSUES: We need to have another entity act as certification authority for the City to spend the funds allocated to this project. Should the City enter into an interlocal agreement with the City of Anacortes to act as CA for the Highway 20/F&S Grade Road project? Should the City task R&E Engineers with providing the construction management services for this project?

BACKGROUND: The City had requested the assistance of Skagit County to manage and act as CA for this project. The County's public works staff have been very helpful, accommodating and willing to assist the City. However, due to the limited engineering staff at the County and the one-sided interlocal agreement proposed by the County (the proposed agreement deviates significantly from the WSDOT model agreement), I asked the City of Anacortes to assist us. Anacortes Mayor Dean Maxwell has agreed, pending approval of their City Council, and the attached interlocal has been reviewed by their City Attorney. As part of this proposal, the Anacortes would provide the CA services and R&E Engineers would provide the construction management.

I will provide more details regarding the timing and the intersection design at the meeting.

REQUEST FOR ACTION:

1. Motion to authorize the Mayor to sign the interlocal agreement with the City of Anacortes.
2. Motion to authorize the additional scope and task order with Reichhardt & Ebe Engineering, Inc., to provide construction management services for this project.

**INTERLOCAL AGREEMENT
BETWEEN THE CITY OF ANACORTES AND THE CITY OF SEDRO-WOOLLEY FOR
THE SR 20 / F & S GRADE ROAD INTERSECTION
IMPROVEMENT PROJECT**

THIS AGREEMENT (“Agreement”) is made and entered into on this _____ day of _____, 2007, by and between the City of Anacortes, Washington, a Washington Municipal Corporation, (hereinafter referred to as “Anacortes”) and the City of Sedro-Woolley, Washington, a Washington municipal corporation (hereinafter referred to as “Sedro-Woolley”). This Agreement is made pursuant to the authority granted by RCW 39.34 (the Interlocal Cooperation Act). Sedro-Woolley and Anacortes may be individually referred to herein as a “Party”, and may be collectively hereinafter referred to as the “Parties”. This Agreement shall remain in effect until December 31, 2010, and shall be considered fulfilled prior to that date upon the completion of the conditions stated herein.

WHEREAS, the City of Anacortes is certified by the Washington State Department of Transportation to inspect, manage, document and otherwise administer Federally Funded construction contracts, and

WHEREAS, the City of Sedro-Woolley has Federal Funds for the construction of certain street and highway improvements but is not certified to administer the contracts for the construction projects, and

WHEREAS, the City of Sedro-Woolley has asked the City of Anacortes to assist in this project by acting under its Certification Acceptance Agreement for the Sedro-Woolley project, and

WHEREAS, this Agreement will formally outline the participation and responsibilities of the Parties in the Project (defined below).

IN CONSIDERATION of the following terms and conditions, the Parties mutually agree as follows:

I. DETAILED SCOPE OF WORK

A. PURPOSE OF AGREEMENT: The purpose of this agreement is to identify the scope and extent of services to be provided by Anacortes to Sedro-Woolley for construction inspection and

contract administration of Sedro-Woolley's construction project, SR 20 / F & S GRADE ROAD INTERSECTION IMPROVEMENT PROJECT hereinafter identified as the "project", illustrated on the attached drawing ("Exhibit A"). All terms and conditions of the above referenced Interlocal Agreement shall remain in full force and effect. Anacortes, acting under their Certification of Acceptance Agreement with the Washington State Department of Transportation, shall provide all services necessary to comply with the requirements of the Federal Highway Administration and Washington State Department of Transportation for administration of the construction of Sedro-Woolley's Federally Funded construction project identified herein.

B. STANDARDS AND REFERENCES: Anacortes will inspect and administer the project construction in accordance with the rules, regulations and procedures as required by the Federal Highway Administration (FHWA), Washington State Department of Transportation (WSDOT) and the laws of the State of Washington. In general these rules, regulations and procedures are documented in the following publications. The latest editions of these publications shall be used:

- Local Agency Guidelines (M 36-63), Latest Revision, published by WSDOT Highways and Local Programs (LAG Manual).
- Standard Specifications for Road, Bridge, and Municipal Construction, Latest English Edition, published by WSDOT.
- Design Manual (M 22-01), Latest Revision, published by WSDOT.
- Construction Manual (M 41-01), Latest Revision, published by WSDOT.
- Standard Plans for Roads, Bridge, and Municipal Construction, (M21-01)
- Plans Preparation Manual, (M22-31).

C. REIMBURSEMENT OF COSTS SEDRO-WOOLLEY: Sedro-Woolley shall reimburse Anacortes for all costs of direct and indirect labor (including fringe benefits), administration, equipment rental, engineering, materials and supplies for Anacortes performed pursuant to this agreement. The total amount of reimbursement for work covered shall be limited to an amount not exceeding ten percent of the total construction cost for the project, unless otherwise agreed to by both parties under an amendment to this agreement. Additionally, the City of Sedro-Woolley has authorized Reichhardt & Ebe Engineering, Inc., to perform tasks included in this scope of work for the benefit of the City of Anacortes, to be billed directly to the City of Sedro-Woolley. This task order is attached hereto as Exhibit B. The parties agree that the City of Anacortes shall of all necessary authority to task, direct and manage the performance of the task order with Reichhardt & Ebe Engineering, Inc.

II. DETAILED RELATIONSHIPS, SERVICES AND PRODUCTS

A. PROJECT DOCUMENTATION: Unless specifically noted otherwise, Anacortes shall maintain original copies of all project documentation in their project files. Duplicate copies shall

be transmitted to Sedro-Woolley's project manager as indicated below. After the project has been completed, and has received Project Management Review, if required by WSDOT, all project documentation files maintained by Anacortes shall be returned to Sedro-Woolley.

B. MANAGEMENT COORDINATION: Anacortes and Sedro-Woolley shall, by exchange of letters, identify the key management personnel with responsibility for the project.

C. PROJECT DESIGN: Sedro-Woolley shall be solely responsible for the conceptual and physical design of the project, and the specification of all construction and materials to be incorporated into the project.

D. PLAN REVIEW: Anacortes shall perform a detailed review of the Plans, Specifications and Estimates (P, S & E) for the project to the extent that the P, S & E conforms to the requirements of FHWA and WSDOT. Sedro-Woolley will be provided with a written listing of all discrepancies discovered by the Anacortes during the review. Sedro-Woolley shall be responsible for correcting, or causing the discrepancies to be corrected.

E. CONTRACT REVIEW: Sedro-Woolley shall be responsible to ensure that the contract provisions are acceptable to Sedro-Woolley's governing body, including review and acceptance by Sedro-Woolley's Legal Counsel. Sedro-Woolley shall provide written verification to Anacortes that the contract documents are acceptable to Sedro-Woolley, and that Anacortes is authorized to proceed with Advertising for bids.

F. ENVIRONMENTAL REVIEW: Sedro-Woolley shall be responsible for ensuring that all required environmental reviews have been completed. Sedro-Woolley shall also be responsible for preparing and submitting the Local Agency Environmental Classification Summary to WSDOT for approval.

G. PERMITS: Sedro-Woolley will verify that it has applied for, and received all necessary permits, and will provide copies of all permits to Anacortes. Anacortes will insure that all permits received from Sedro-Woolley are currently in force, and will make application for time extensions of permits that have expired. Sedro-Woolley shall be promptly notified in the event that an expired permit will not be renewed, or that permit conditions have changed. Sedro-Woolley shall be responsible for making any plan revisions necessary to comply with changed permit conditions.

H. RIGHT OF WAY CERTIFICATION: Sedro-Woolley has acquired or will acquire all necessary right of way for the project, and will be responsible for obtaining the Right of Way Certification from WSDOT.

I. FEDERAL AID AGREEMENT / FUND OBLIGATION: Sedro-Woolley will be responsible for Obligating Federal Aid Construction Funds through WSDOT by executing the appropriate Local Agency Agreement and/or Supplement thereto.

J. CONSTRUCTION AUTHORIZATION: Anacortes will transmit a request for Construction Authorization to WSDOT along with the required number of copies of the project P, S & E. A copy of this request will be transmitted to Sedro-Woolley.

K. PREVAILING WAGES, TRAINING, EQUAL EMPLOYMENT OPPORTUNITY AND MINORITY BUSINESS ENTERPRISES: Anacortes will be responsible for ensuring contractor compliance with these regulations. Compliance will be documented in accordance with the provisions of the LAG and Construction Manuals. Anacortes will review the project P, S & E to ensure that all necessary contract provisions are included in the Contract Documents. The contractor and all subcontractors, will be required to submit a “Notice of Intent to Pay Prevailing Wages” to the Washington State Department of Labor and Industries naming Sedro-Woolley as the Contracting Agency. The approved Notice should be returned by Labor and Industries to Sedro-Woolley. Sedro-Woolley shall immediately notify Anacortes if the approved Notice of Intent is not received by Sedro-Woolley prior to application by the contractor for the first progress payment. Copies of the returned Notices of Intent shall be provided to Anacortes by Sedro-Woolley.

L. REPRODUCTION OF P, S & E: Sedro-Woolley will be responsible for reproducing the necessary number of the Plans Specifications and Estimates for the project.

M. ADVERTISEMENT FOR BIDS: Once Construction Authorization is received from WSDOT, Anacortes will notify Sedro-Woolley by copy of the authorization. Sedro-Woolley shall then authorize Anacortes in writing to proceed with the advertisement for bids. Upon such authorization Anacortes will establish a bid opening date that provides for a minimum advertisement period of three weeks from the date of the first legal publication as required by the LAG Manual. Anacortes will also arrange for a minimum of two advertisements to be posted in the official legal publication of Sedro-Woolley, as well as the Seattle Daily Journal of Commerce.

N. OPENING AND REVIEW OF BIDS: Anacortes and Sedro-Woolley shall mutually agree on the place for receipt and opening of bids. All bids shall be received at the time and place specified in the bid documents and advertisements, and opened and read aloud as required by the LAG Manual. After opening and reading bids, Anacortes shall take custody of the bids and review them for accuracy and completeness as required by the LAG Manual. Anacortes shall also prepare a bid tabulation showing all items of work and the bid amounts for each item, the extended amounts for each item and the total amount of the bid. The bid tabulation shall also contain the Engineer’s Estimate in the same manner. A copy of the bid tabulations will be transmitted to Sedro-Woolley and additional copies will be made available for public inspection.

O. AWARD OF CONTRACT: Once the bids have been reviewed and tabulated and the lowest responsive bidder has been identified, Anacortes will make a recommendation for award of the contract to the lowest responsive bidder and prepare a resolution for signature by Sedro-Woolley’s governing body awarding the contract to the lowest responsive bidder. Sedro-Woolley shall be responsible for submitting the recommendation and resolution to their governing body for approval. The original signed resolution shall be returned to Anacortes for inclusion in the project records. Once the executed award resolution is received by Anacortes, Anacortes will

prepare and transmit to the successful bidder an award letter and three original copies of the agreement for signature by the successful bidder.

P. EXECUTION OF CONTRACT, PERFORMANCE BOND AND INSURANCE:

Anacortes will request from the successful bidder a performance bond in the full amount of the contract and a certificate of insurance showing Sedro-Woolley and Anacortes as named co-insured. Upon receipt of the signed original agreements, satisfactory performance bond and certificate of insurance, the three original agreements signed by the successful bidder will be forwarded to Sedro-Woolley for execution by their designated official. Sedro-Woolley shall return two fully executed copies of the original agreement to Anacortes. Anacortes will include one original in the project records and return one original to the contractor. Anacortes will also provide Sedro-Woolley with copies of the Performance Bond and Certificate of Insurance.

Q. PRE CONSTRUCTION CONFERENCE: At such time as the agreement has been executed, Anacortes shall schedule a pre-construction conference. Anacortes shall notify all affected parties of the time and place of the conference and invite each party to attend. At a minimum, the invited parties shall include: Anacortes, Sedro-Woolley, Contractor, WSDOT and affected utilities. Anacortes shall conduct the conference in accordance with LAG Manual procedures, and shall take and prepare minutes of the conference for distribution to the parties.

R. NOTICE TO PROCEED: At the pre-construction conference Anacortes shall transmit to the contractor a Notice to Proceed establishing the construction start date and computed completion date.

S. MATERIALS CONTROL AND CONTRACT DOCUMENTATION: During the life of the contract, Anacortes shall be responsible for preparing and maintaining all necessary reports, documents, records and estimates in accordance with the requirements of WSDOT as set forth in the WSDOT Construction Manual as modified by the LAG Manual. And shall perform all required quality control inspection and administrative tasks necessary to comply with WSDOT and FHWA requirements.

T. CONSTRUCTION SURVEYS: Sedro-Woolley shall obtain all necessary construction surveying required for completion of the project.

U. CHANGED CONDITIONS: Changed Conditions shall be defined as Minor and Major.

Changed conditions that, in the estimation of Anacortes, will not create additional costs, or that do not affect the engineering principles fundamental to the design shall be considered minor changes. Minor changed conditions will not be immediately reported to Sedro-Woolley, but will be documented in the project records and as-built drawings.

Changed Conditions that will result in increased costs, or that require consideration and input from the responsible design engineer shall be considered major changes. Anacortes shall immediately notify Sedro-Woolley of any major changed conditions encountered during construction to obtain direction from Sedro-Woolley and to arrange for design engineer input.

Sedro-Woolley shall ensure that they promptly respond to any situations involving major changed conditions in order to avoid delays to the project.

V. CHANGE ORDERS: Change Orders will normally be required to address changed conditions. Anacortes representatives with responsibility for the project shall be authorized to execute change orders on behalf of Sedro-Woolley to the extent that the sum of all change orders so executed does not exceed ten percent of the original contract amount. In event that a change order will cause the ten percent limit to be exceeded, Anacortes shall negotiate the change order with the contractor and present the negotiated change order to Sedro-Woolley for authorization.

W. INCREASED / DECREASED QUANTITIES: The bid quantities shown on the proposal form for the contract are based on the engineers estimate. The actual quantities used may vary from the estimated quantities. Anacortes shall notify Sedro-Woolley of any increased quantities that exceed ten percent of the estimated quantity, and the reason for the increase. Should any item of work increase or decrease by more than twenty five percent an equitable price adjustment is required. Any such equitable price adjustment shall be made by change order. If an equitable price adjustment is required, Anacortes shall negotiate the price adjustment, prepare the change order and forward the change order to Sedro-Woolley for approval. Notwithstanding the provisions identified under "Change Orders", Anacortes shall not be authorized to approve any change order involving an equitable price adjustment.

X. PROGRESS PAYMENTS AND RETAINAGE: Anacortes shall request that the contractor establish a monthly cut off date for pay estimates. This cut off date will normally be established on either the 5th or 20th of the month. Anacortes shall prepare a monthly pay estimate for the contract. The pay estimate shall provide general contract information and information for each item of work regarding the BARS Work Code, contract quantity, quantity for the period, quantity to date, monetary amount for the period and monetary amount to date. The pay estimate will be forwarded to the contractor for approval and signature, and will then be forwarded to Sedro-Woolley for payment. Normally, the contractor approved pay estimate will be forwarded to Sedro-Woolley within ten working days of the established cut-off date.

Sedro-Woolley shall be solely responsible for providing timely payment to the contractor for the work performed and for withholding retainage from the payments in the amount and manner as required by Washington State Statutes governing Public Works Contracts.

Y. FEDERAL PROGRESS BILLINGS: Sedro-Woolley shall be solely responsible for preparing and submitting Federal progress billings to WSDOT.

Z. CONTRACT COMPLETION: Upon a finding by Anacortes that the work is physically complete, the following procedure shall be used:

- 1) Anacortes will provide a letter to the Contractor notifying the Contractor that the work is Physically Complete, and establishing the date of Physical Completion of the work. The letter will also notify the Contractor that all obligations under the contract must be satisfied in order to make the final payment on the contract. And, that the contractor and all sub-contractors are responsible for submitting their completed "Affidavit of Wages

Paid” to the Washington State Department of Labor and Industries. Anacortes shall also send a copy of this letter to the Washington State Department of Labor and Industries and to Sedro-Woolley.

2) Within 15 days of the notice of Physical Completion to the Contractor, Anacortes shall notify WSDOT and arrange for final inspection by the Area Engineer. Sedro-Woolley shall be notified of the date of the final inspection and invited to attend.

3) Upon satisfactory final inspection, and receipt by Anacortes of all necessary documentation from the contractor, Anacortes will prepare the Final Pay Estimate and Final Contract Voucher for signature by the contractor, and will forward the signed original Final Pay Estimate and Final Contract Voucher to Sedro-Woolley, along with a letter of Contract Completion for Sedro-Woolley’s signature. Sedro-Woolley shall process the final payment as described under “Progress Payments and Retainage”, and return the signed Contract Completion Letter to Anacortes, who in turn will forward the letter to the contractor.

4) Anacortes shall also forward a copy of the Completion letter to the Washington State Department of Revenue and request, on behalf of Sedro-Woolley, confirmation that the contractor has paid all necessary sales tax for the project.

5) Sedro-Woolley shall prepare and forward to its governing body a resolution accepting the project for their approval. The resolution should be acted on within 21 calendar of the date of Physical Completion unless the delay is attributable to the contractor failing to provide any necessary documentation in a timely manner. If, at the time set for action on the resolution, there are any known outstanding claims or liens for labor or material against the contract bond or retainage account, action on the resolution shall be postponed until the claims/liens are satisfied.

Upon completion of the above process, and provided that there have been no claims or liens made against Contract Bond or Retainage, Sedro-Woolley shall be responsible for releasing the Contract Bond and the Retainage in the time and manner required by Washington State statutes governing Public Works Contracts. Anacortes shall ensure as far as practical that all releases and/or affidavits from the various State Agencies are forwarded directly to Sedro-Woolley. In the event that Sedro-Woolley fails to receive any such releases and/or affidavit, Sedro-Woolley shall notify both Anacortes and the Agency to determine the location of the missing documents.

In the event that a claim or lien has been filed against the Contract Bond or Retainage, Anacortes shall assist Sedro-Woolley, as far as practical, with the resolution of the claim or lien.

AA. PROJECT MANAGEMENT REVIEW: If selected by WSDOT for Project Management Review, Anacortes shall provide representation and the project records for the Area Engineer’s review. Any deficiencies in the project records identified by the review shall be corrected by Anacortes.

III. MISCELLANEOUS PROVISIONS

A. TERMINATION: This Agreement shall remain in effect until the Project is completed and accepted in writing by the Parties or until December 31, 2010.

Any party hereto may terminate this Agreement upon thirty (30) days notice in writing either personally delivered or mailed postage-prepaid by certified mail, return receipt requested, to the party's last known address for the purposes of giving notice under this paragraph. If this Agreement is so terminated, the parties shall be liable only for performance rendered or costs incurred in accordance with the terms of this Agreement through the date of termination.

If this Agreement is terminated by Sedro-Woolley prior to the completion of the terms as outlined herein, Sedro-Woolley shall reimburse Anacortes for any costs incurred or that may be incurred by Anacortes as a result of the Project.

B. RIGHT TO REVIEW: This contract is subject to review by the State auditor's office. Sedro-Woolley or its designee shall have the right to review and monitor the financial components of this Project. Such review may include, but is not limited to, on-site inspection by City agents or employees, inspection of all records or other materials, which Sedro-Woolley deems pertinent to the Agreement and its performance. Anacortes shall preserve and maintain all financial records and records relating to this Project under this Agreement, and shall make them available for such review, within Skagit County, State of Washington, upon request.

C. MODIFICATIONS: This Agreement may be modified, changed, or amended only by a subsequent written agreement executed by the Parties hereto.

D. DEFENSE AND INDEMNITY AGREEMENT: Each Party agrees to defend, indemnify and save harmless the other Party, and its appointed and elective officers and employees, from and against all loss or expense, including but not limited to judgments, settlements, attorney's fees and costs by reason of any and all claims and demands on the other Party, its elected or appointed officials or employees, for damages because of personal or bodily injury, including death at any time resulting therefrom, when such injury to persons or damage to property is due to the negligence of the Party or of its elected officers and employees.

E. INDUSTRIAL INSURANCE WAIVER: With respect to the performance of this Agreement and as to claims against Anacortes, its officers, agents and employees, Sedro-Woolley expressly waives its immunity under Title 51 of the Revised Code of Washington, the Industrial Insurance Act, for injuries to its employees and agrees that the obligations to indemnify, defend and hold harmless provided in this Agreement extend to any claim brought by or on behalf of any employee of the City. This waiver is mutually negotiated by the parties to this Agreement.

With respect to the performance of this Agreement and as to claims against the City, its officers, agents and employees, Anacortes expressly waives its immunity under Title 51 of the Revised Code of Washington, the Industrial Insurance Act, for injuries to its employees and agrees that the obligations to indemnify, defend and hold harmless provided in this Agreement extend to any

claim brought by or on behalf of any employee of Anacortes. This waiver is mutually negotiated by the parties to this Agreement.

F. VENUE AND CHOICE OF LAW: In the event that any litigation should arise concerning the construction or interpretation of any of the terms of this Agreement, the venue of such action of litigation shall be in the Superior Court of the State of Washington in and for Skagit County. This Agreement shall be governed by the laws of the State of Washington.

G. NO SEPARATE LEGAL ENTITY: It is not the intention that a separate legal entity be established to conduct this cooperative undertaking, and no separate legal entity is created by this Agreement. For purposes of RCW 39.34.030(4)(a), the Anacortes City Engineer or designee shall administer the Project.

H. SEVERABILITY: If any term or condition of this Agreement or the application thereof to any person(s) or circumstances is held invalid, such invalidity shall not effect other terms, conditions, or applications which can be given effect without the invalid term, condition or application. To this end, the terms and conditions of this contract are declared severable.

I. WAIVER: Waiver of any breach or condition of this contract shall not be deemed a waiver of any prior or subsequent breach. No terms or conditions of this contract shall be held to be waived, modified or deleted except by an instrument, in writing, signed by the parties hereto.

J. NOTICES: All notices, requests, demands and other communications called for or contemplated by this Agreement shall be in writing and shall be deemed to have been duly given by mailing the same by first-class mail, postage prepaid; by delivering the same by hand; or by sending the same by telex or telecopy, to the following addresses, or to such other addresses as the parties may designate by written notice in the manner aforesaid, provided that communications that are mailed shall not be deemed to have been given until three (3) business days after mailing.

Any notices to be sent to Sedro-Woolley shall be sent to the following address:

City of Sedro-Woolley
ATTN: City Supervisor
720 Murdock
Sedro-Woolley, WA 98284
(360) 855-0771

Any notices to be sent to Anacortes shall be sent to the following address:

City of Anacortes
Public Works Department
ATTN: City Engineer
P.O. Box 547
Anacortes, WA 98221
(360) 293-1919

K. TITLES AND CAPTIONS: The titles and captions to the paragraphs of this Agreement are solely for the convenience of the parties and are not an aid in the interpretation of the instrument.

L. TREATMENT OF ASSETS AND PROPERTY: No fixed assets or personal or real property will be jointly or cooperatively, acquired, held, used, or disposed of pursuant to this Agreement.

M. NO PARTNERSHIP OR JOINT VENTURE: No partnership and/or joint venture exists between Sedro-Woolley and Anacortes, and no partnership and/or joint venture is created by and between Sedro-Woolley and Anacortes by virtue of this Agreement. No agent, employee, contractor, subcontractor, consultant, volunteer, and/or other representative of the parties shall be deemed an agent, employee, contractor, subcontractor, consultant, volunteer, or other representative of the other party.

N. NO THIRD PARTY BENEFICIARIES: This Agreement is not intended to nor does it create any third party beneficiary or other rights in any third person or party, including, but not limited to, any agent, contractor, subcontractor, consultant, volunteer, and/or other representative of either party.

O. STATUS OF AGREEMENT: This Agreement is in addition to, and is not intended to replace, substitute, modify, or otherwise amend any other agreements by and between the parties. Any other agreements by and between the parties shall continue in full force and effect.

P. COMPLIANCE WITH LAWS: The parties to this Agreement shall comply with all applicable federal, state, and local laws, rules, and regulations in carrying out the terms and conditions of this Agreement. If applicable, compliance with laws shall specifically include, but not be limited to, compliance with laws pertaining to the payment of prevailing wage on public works (including, but not necessarily limited to RCW 39.12). If applicable, compliance with laws shall also specifically include, but not be limited to, compliance with laws for the procurement of contracts for architectural and engineering services (including, but not necessarily limited to RCW 39.80). If applicable, compliance with laws shall also specifically include, but not be limited to laws pertaining to the construction of public works (including, but not necessarily limited to RCW 39.04 and RCW 36.32). If necessary, the parties shall obtain and comply with all necessary permits and approvals from all applicable jurisdictions prior to commencing any work related to this Agreement.

Q. ASSIGNMENT AND SUBCONTRACTING: To the extent provided by law, and by the terms of any applicable grants, Anacortes may assign, contract, and/or subcontract any or all of its duties and/or obligations under this Agreement, without the consent of the City.

R. USE OF DOCUMENTS AND ITEMS PRODUCED: Both Parties shall have the unencumbered proprietary right to use any and all writings, programs, data, public records or other materials prepared by any party (and/or any party's contractors, consultants, and/or subcontractors), in connection with performance of this Agreement.

S. ENTIRE AGREEMENT: This written Agreement represents the entire Agreement between the parties and supersedes any prior oral statements, discussions, or understandings between the parties. All items incorporated herein by reference are attached. No other understandings, oral or otherwise, regarding the subject matter of this Agreement shall be deemed to exist or to bind any of the parties hereto.

IN WITNESS WHEREOF, the parties have executed this Agreement this ____ day of _____, 2007.

CITY OF SEDRO-WOOLLEY

CITY OF ANACORTES

Mike Anderson, Mayor
Date signed: _____, 2007

Dean Maxwell, Mayor
Date signed: _____, 2007

Attest:

Attest:

Sedro-Woolley City Clerk

Anacortes City Clerk

Approved as to Form:

Approved as to Form:

Sedro-Woolley City Attorney

Anacortes City Attorney

STATE OF WASHINGTON)
) SS
COUNTY OF SKAGIT)

On this _____ day of _____, 2007, before me, the undersigned Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Mike Anderson, to me known to be the Mayor of Sedro-Woolley, a municipal corporation, the corporation that executed the foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that they were duly authorized to execute the same and that the seal affixed is the corporate seal of said corporation.

DATED this _____ day of _____, 2007.

(SEAL)

Notary Public for the State of Washington
Print name: _____
Residing at _____
My commission expires _____

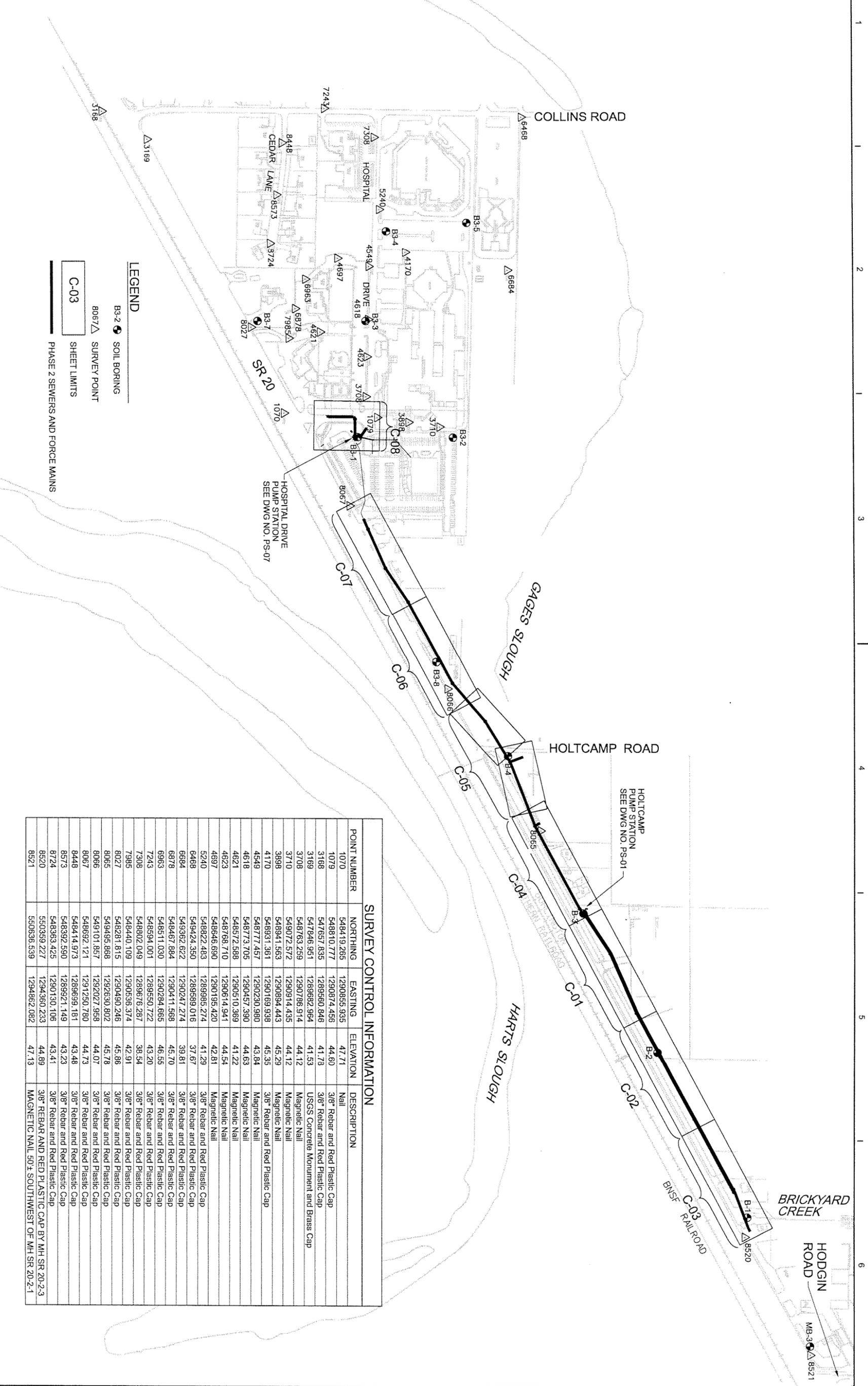
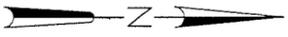
STATE OF WASHINGTON)
) SS
COUNTY OF SKAGIT)

On this _____ day of _____, 2007, before me, the undersigned Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Dean Maxwell, to me known to be the Mayor of Anacortes, a municipal corporation, the corporation that executed the foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that they were duly authorized to execute the same and that the seal affixed is the corporate seal of said corporation.

DATED this _____ day of _____, 2007.

(SEAL)

Notary Public for the State of Washington
Print name: _____
Residing at _____
My commission expires _____



SURVEY CONTROL INFORMATION				
POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1070	548419.285	1290855.935	47.71	Nail
1079	548810.777	1290874.456	44.60	3/8" Rebar and Red Plastic Cap
3168	547657.935	1289580.846	41.78	3/8" Rebar and Red Plastic Cap
3169	547946.991	1289882.964	41.53	USGS Concrete Monument and Brass Cap
3708	548763.259	1290786.914	44.12	Magnetic Nail
3710	549072.572	1290814.435	44.12	Magnetic Nail
3698	548941.563	1290894.443	45.29	Magnetic Nail
4170	548931.361	1290169.938	45.35	3/8" Rebar and Red Plastic Cap
4549	548777.457	1290230.980	43.84	Magnetic Nail
4618	548773.705	1290457.390	41.22	Magnetic Nail
4621	548572.588	1290510.369	41.22	Magnetic Nail
4623	548768.710	1290614.941	44.54	Magnetic Nail
4697	548546.690	1290195.420	42.81	Magnetic Nail
5240	548822.483	1289985.274	41.29	3/8" Rebar and Red Plastic Cap
5468	549424.350	1289589.016	37.67	3/8" Rebar and Red Plastic Cap
6684	549362.622	1290247.274	39.81	3/8" Rebar and Red Plastic Cap
6678	548467.884	1290411.568	45.70	3/8" Rebar and Red Plastic Cap
6963	548511.030	1290284.665	46.55	3/8" Rebar and Red Plastic Cap
7243	548594.001	1289550.722	43.20	3/8" Rebar and Red Plastic Cap
7308	548802.049	1289676.287	38.54	3/8" Rebar and Red Plastic Cap
7985	548440.109	1290536.374	42.91	3/8" Rebar and Red Plastic Cap
8027	548281.815	1290490.246	45.86	3/8" Rebar and Red Plastic Cap
8065	549495.868	1292630.802	45.78	3/8" Rebar and Red Plastic Cap
8066	549101.857	1292027.958	44.07	3/8" Rebar and Red Plastic Cap
8067	548692.121	1291250.780	44.73	3/8" Rebar and Red Plastic Cap
8448	548414.973	1289699.181	43.48	3/8" Rebar and Red Plastic Cap
8573	548392.590	1289921.149	43.23	3/8" Rebar and Red Plastic Cap
8724	548363.425	1290130.105	43.41	3/8" Rebar and Red Plastic Cap
8620	550359.227	1294360.233	44.89	3/8" REBAR AND RED PLASTIC CAP BY MH SR 20-2-3
8621	550636.539	1294862.082	47.13	MAGNETIC NAIL 50± SOUTHWEST OF MH SR 20-2-1

- LEGEND**
- B3-2 ● SOIL BORING
 - 8067/△ SURVEY POINT
 - C-03 SHEET LIMITS
 - PHASE 2 SEWERS AND FORCE MAINS

GENERAL PLAN AND PLAN AND PROFILE KEY MAP
NTS

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CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA
NO.	DATE
REVISION	BY



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CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

GENERAL
GENERAL PLAN AND PLAN & PROFILE
KEY MAP AND SURVEY CONTROL
AND SURVEY CONTROL

SHEET 4 of 36
DWG G-04
DATE AUG. 2007
PROJ 161062 A3



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CHK	M. H. VANDERAA		
APP'D	M. H. VANDERAA		

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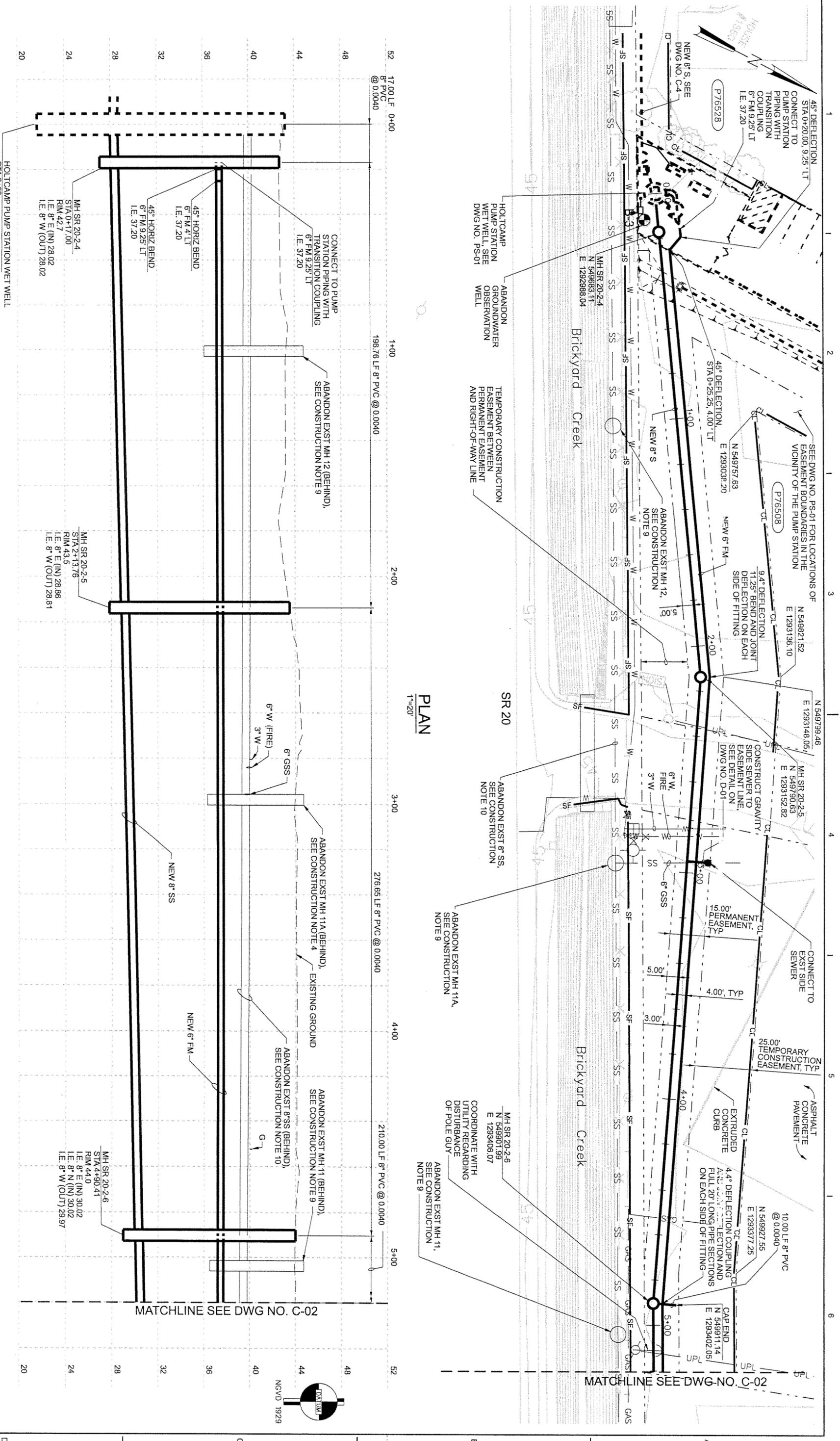
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CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM
 IMPROVEMENTS

SEGMENT 3 SR-20
 GRAVITY SEWER AND FORCE MAIN
 STA 0+00 TO STA 5+20

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SHEET	5 of 36
DWG NO.	C-01
DATE	AUG. 2007
PROJ.	161052.A3
FILENAME	P2-SR20P1-C01.dgn
PLOT DATE	8/7/2007
PLOT TIME	2:07:48 PM

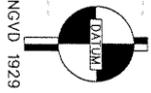


PROFILE
 1"=20' HORIZ, 1"=4' VERT

PLAN
 1"=20'

MATCHLINE SEE DWG NO. C-02

MATCHLINE SEE DWG NO. C-02



D
C
B
1
A



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 DR: K. R. WIEGUM
 CHK: M. H. VANDERAA
 AP/DM: M. H. VANDERAA

NO.	DATE	REVISION	BY	AP/VD

PROFILE
 1"=20' HORIZ, 1"=4' VERT

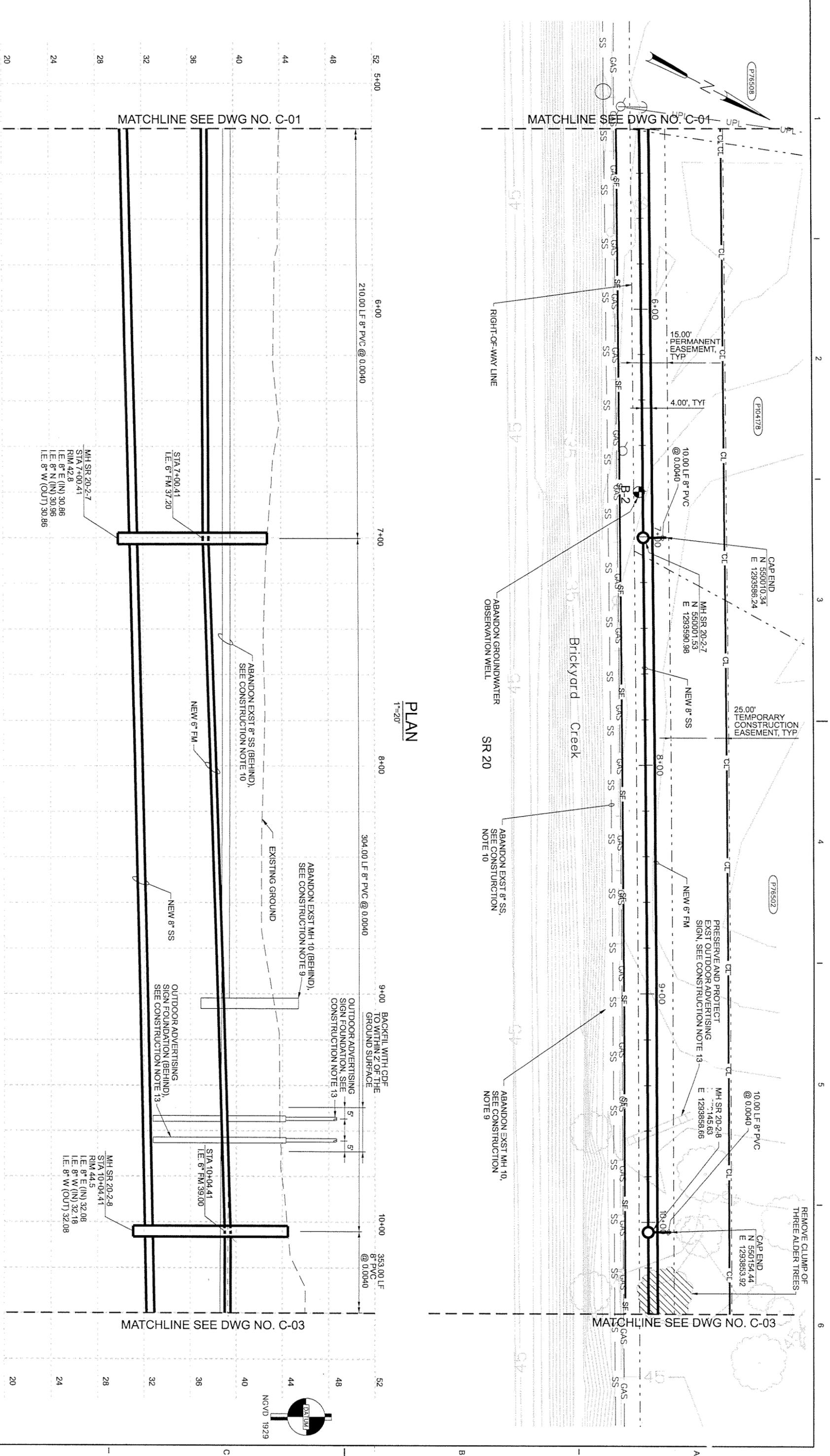
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CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM IMPROVEMENTS

SEGMENT 3 SR-20
 GRAVITY SEWER AND FORCE MAIN
 STA 5+20 TO STA 10+40

CALL 48 HOURS BEFORE YOU DIG
 1-800-424-5555

SHEET	6 OF 36
DWG NO.	C-02
DATE	AUG. 2007
FIGU	161052.3
NO.	
FILENAME:	P2-SR20PL-C02.dgn
PLOT DATE:	8/7/2007
PLOT TIME:	8:04:58 AM



MATCHLINE SEE DWG NO. C-01

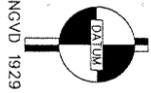
MATCHLINE SEE DWG NO. C-01

PLAN
 1"=20'

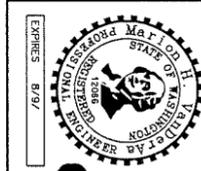
PROFILE
 1"=20' HORIZ, 1"=4' VERT

MATCHLINE SEE DWG NO. C-03

MATCHLINE SEE DWG NO. C-03



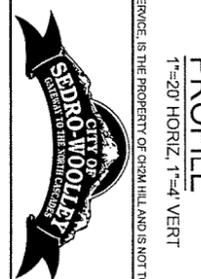
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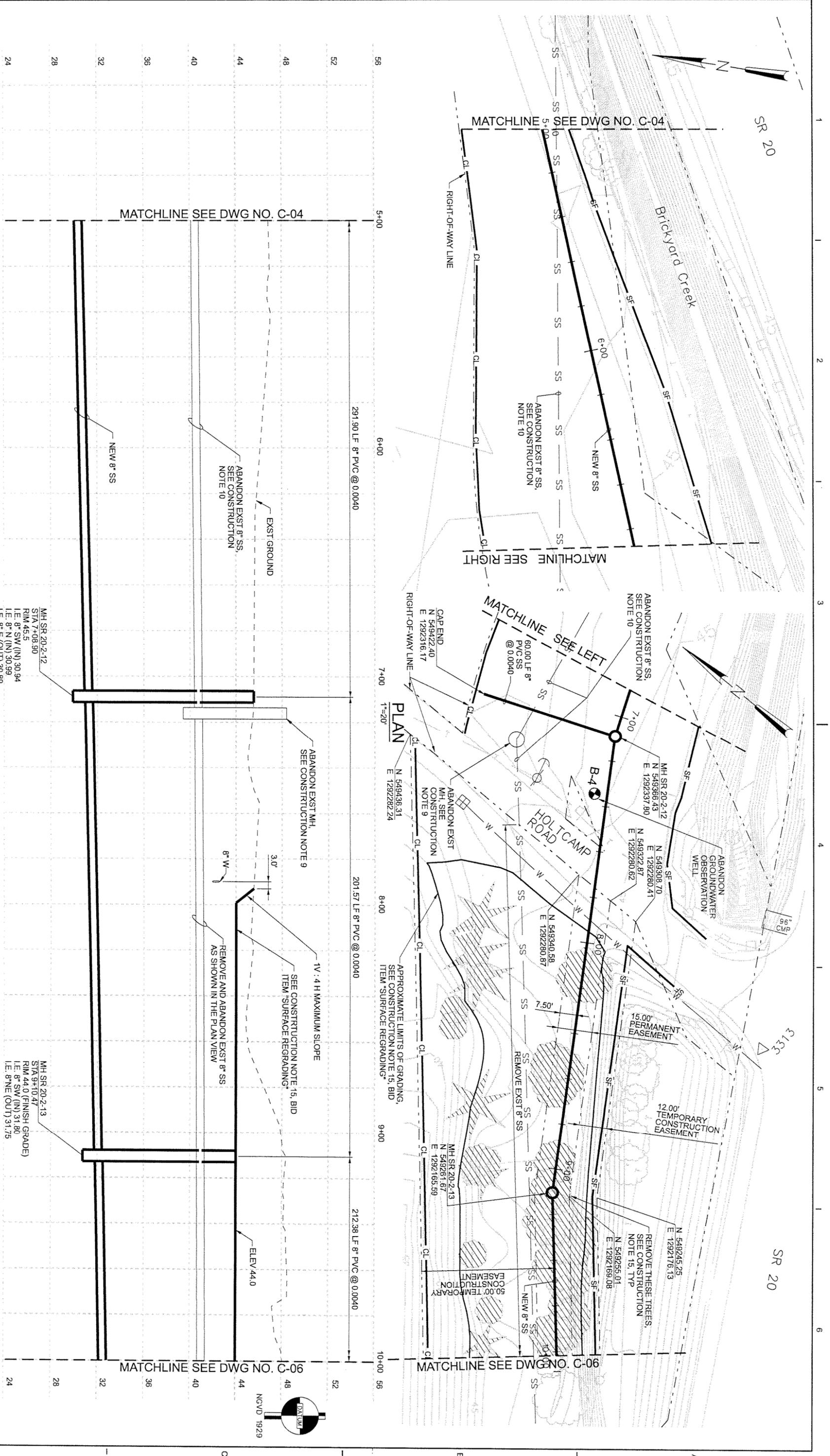


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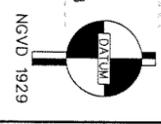
CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM IMPROVEMENTS

CIVIL
 SEGMENT 4 SR-20 GRAVITY SEWER
 STA 5+00 TO STA 10+00

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SHEET	9 of 36
DWG NO.	C-05
DATE	AUG. 2007
PROJ	161052.23

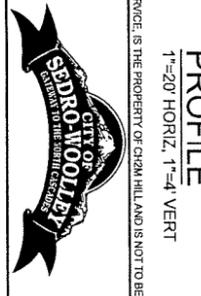




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DESIGN	M. H. VANDERAA
DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA
NO.	DATE
REVISION	BY



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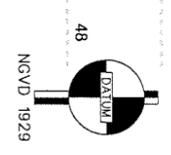
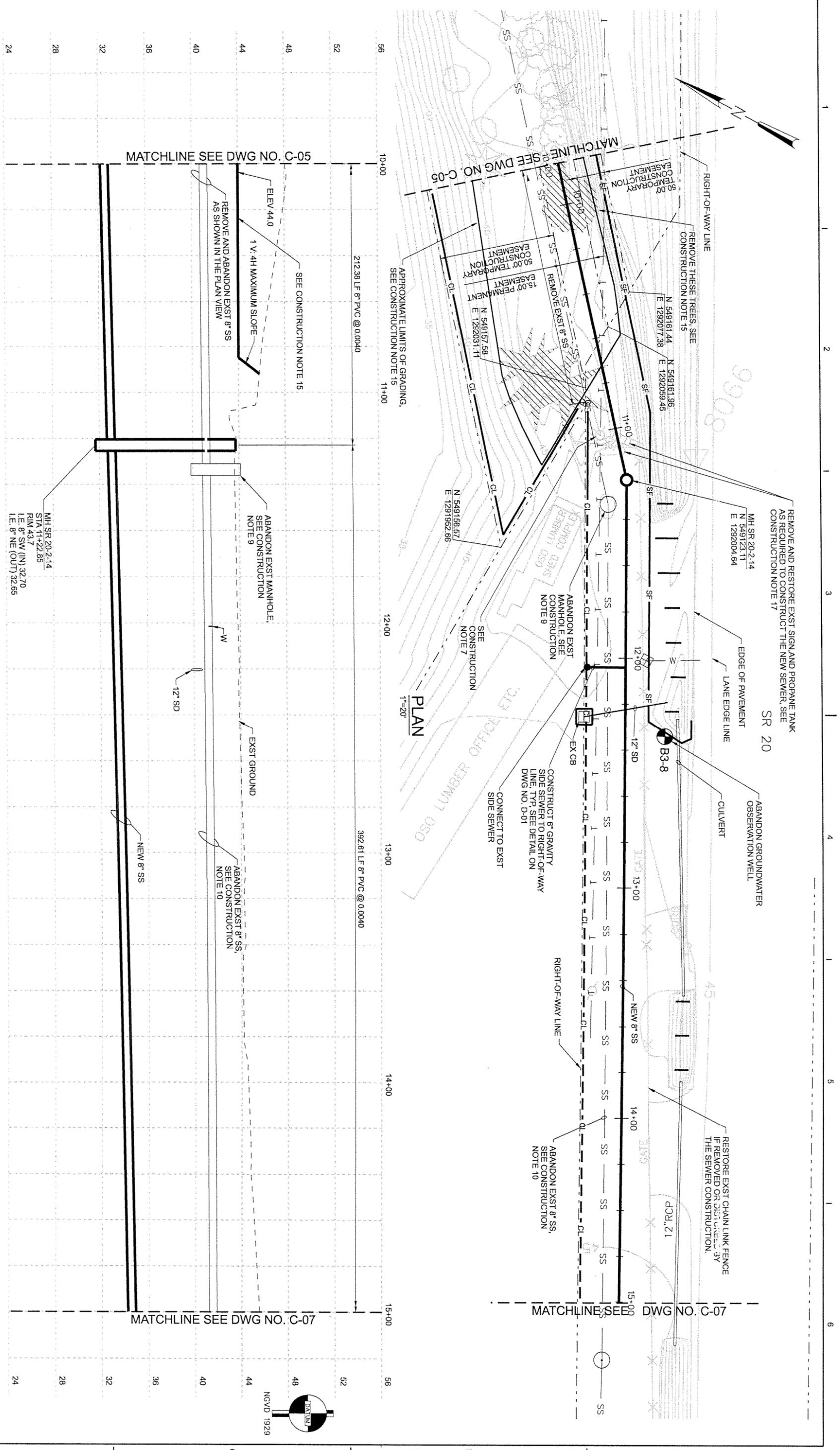
CITY OF SEDRO-WOOLLEY WASHINGTON
**PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS**

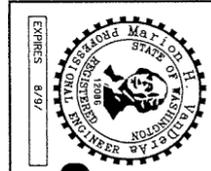
CIVIL
**SEGMENT 4 SR-20
GRAVITY SEWER
STA 10+00 TO STA 15+00**

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SHEET	10 of 36
DWG	C-06
DATE	AUG. 2007
PROJ	161052 A3
NO.	

FILENAME: P2-SR20P1-C06.dgn PLOT DATE: 8/6/2007 PLOT TIME: 2:07:16 PM





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CHK	M. H. VANDERAA
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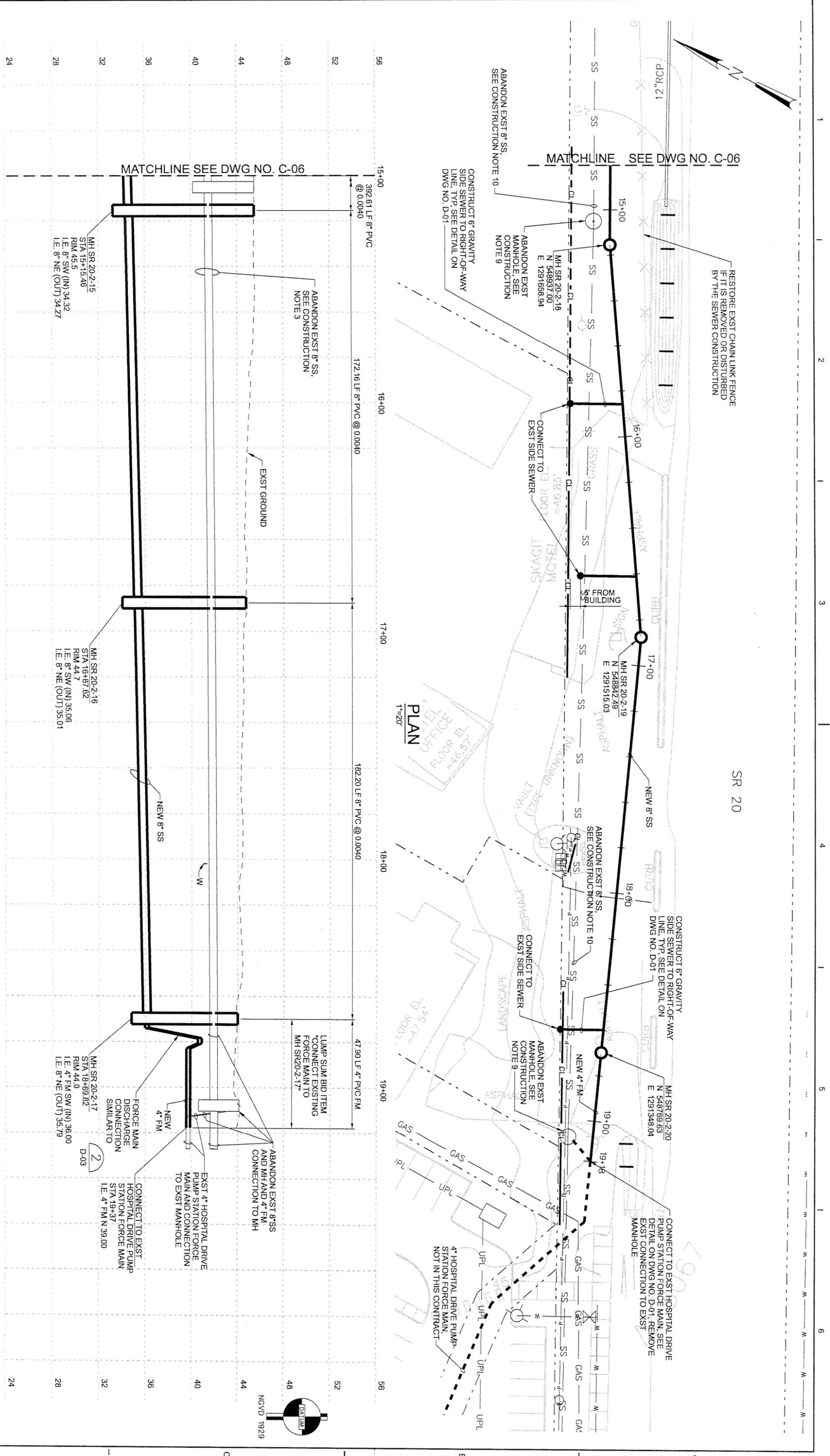
CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM
 IMPROVEMENTS

CIVIL
 SEGMENT 4 SR-20
 GRAVITY SEWER
 STA 15+00 TO STA 19+30

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SHEET	11 of 36
DWG NO.	C-07
DATE	AUG. 2007
PRJ NO.	161052.33

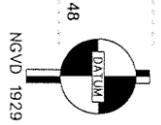
FILENAME: P2-SR20PL-C07.dgn PLOT DATE: 8/14/2007 PLOT TIME: 12:12:57 PM



MATCHLINE SEE DWG NO. C-06

PROFILE
 1"=20' HORIZ. 1"=4' VERT

PLAN
 1"=20'



24	28	32	36	40	44	48	52	56
----	----	----	----	----	----	----	----	----

SR 20

RESTORE EXIST CHAIN LINK FENCE IF IT IS REMOVED OR DISTURBED BY THE SEWER CONSTRUCTION

CONSTRUCT 6" GRAVITY SIDE SEWER TO RIGHT-OF-WAY LINE. TYP. SEE DETAIL ON DWG NO. D-01

ABANDON EXIST 8" SS, SEE CONSTRUCTION NOTE 10

ABANDON EXIST MANHOLE, SEE CONSTRUCTION NOTE 9

CONNECT TO EXIST SIDE SEWER

CONSTRUCT 6" GRAVITY SIDE SEWER TO RIGHT-OF-WAY LINE. TYP. SEE DETAIL ON DWG NO. D-01

ABANDON EXIST 8" SS, SEE CONSTRUCTION NOTE 10

ABANDON EXIST MANHOLE, SEE CONSTRUCTION NOTE 9

CONNECT TO EXIST HOSPITAL DRIVE PUMP STATION FORCE MAIN, SEE DETAIL ON DWG NO. D-01, REMOVE EXIST CONNECTION TO EXIST MANHOLE

4" HOSPITAL DRIVE PUMP STATION FORCE MAIN, NOT IN THIS CONTRACT

ABANDON EXIST 8" SS, SEE CONSTRUCTION NOTE 3

EXIST GROUND

MH SR 20-2-15
 STA 15+15.46
 RIM 44.5
 I.E. 8" SW (IN) 34.32
 I.E. 8" NE (OUT) 34.27

MH SR 20-2-16
 STA 16+87.62
 RIM 44.7
 I.E. 8" SW (IN) 35.06
 I.E. 8" NE (OUT) 35.01

MH SR 20-2-17
 STA 18+89.82
 RIM 44.0
 I.E. 4" FM SW (IN) 36.00
 I.E. 8" NE (OUT) 35.79

CONNECT TO EXIST HOSPITAL DRIVE PUMP STATION FORCE MAIN
 STA 19+37
 I.E. 4" FM N 39.00

LUMP SUM BID ITEM
 CONNECT EXISTING FORCE MAIN TO
 MH SR20-2-17

ABANDON EXIST 8" SS AND MH AND 4" FM CONNECTION TO MH

EXIST 4" HOSPITAL DRIVE PUMP STATION FORCE MAIN AND CONNECTION TO EXIST MANHOLE

FORCE MAIN DISCHARGE CONNECTION SIMILAR TO

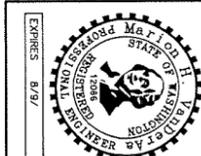
D-03

392.61 LF 8" PVC @ 0.0040

172.16 LF 8" PVC @ 0.0040

182.20 LF 8" PVC @ 0.0040

47.90 LF 4" PVC FM



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PERSON	DATE	REVISION
M. H. VANDERBA		
K. R. WEIGUM		
M. H. VANDERBA		
A.P.V.M. H. VANDERBA		

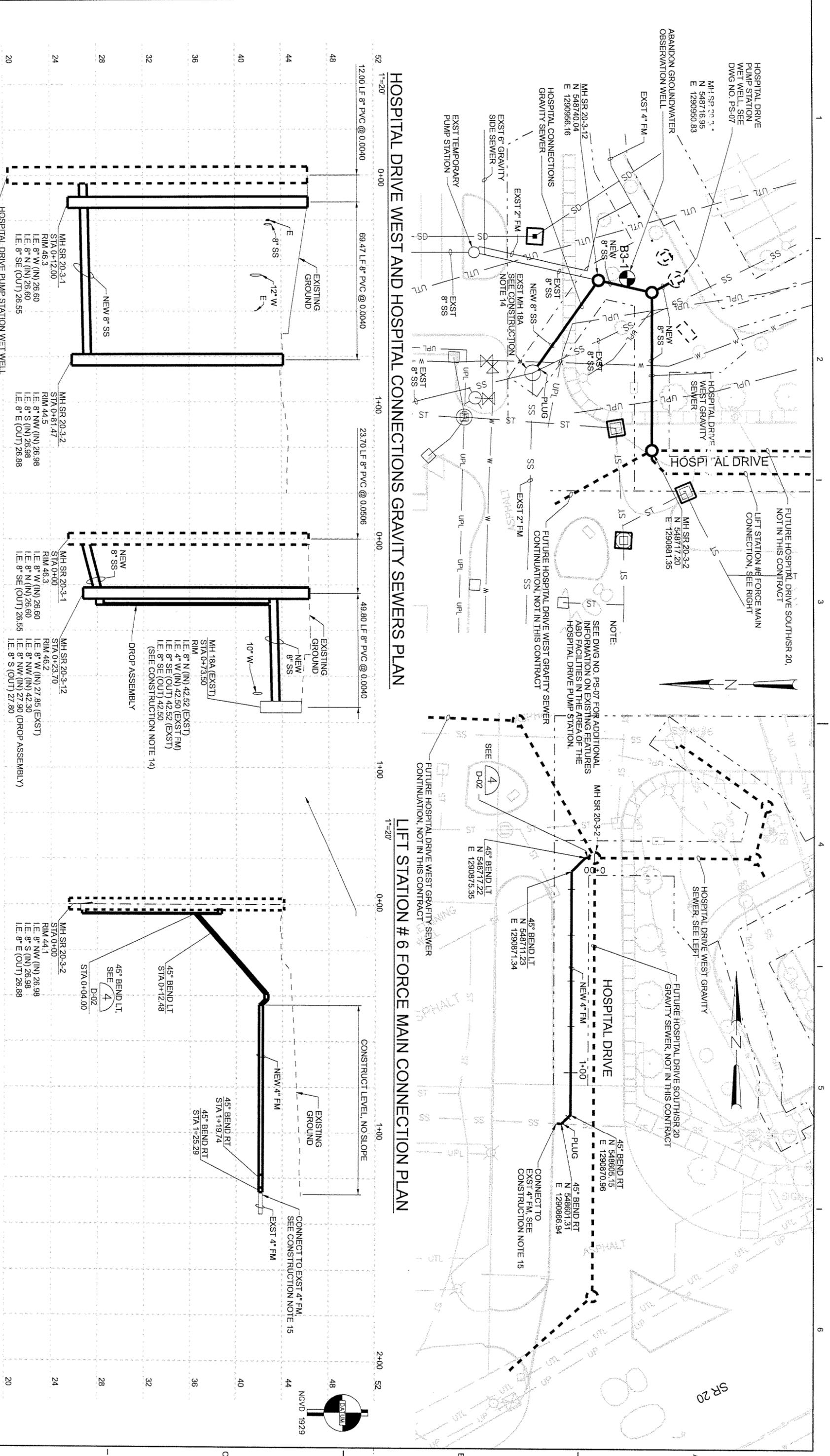


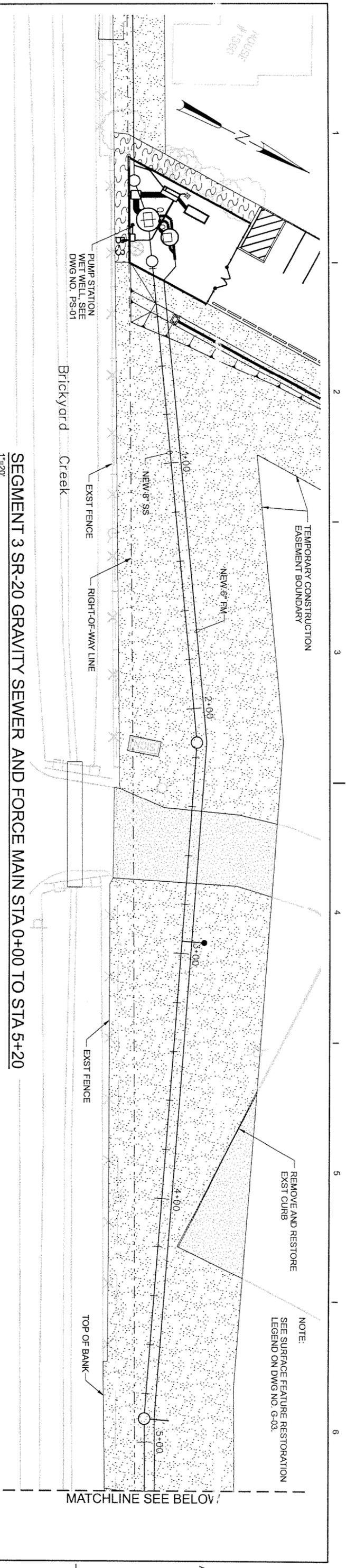
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CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM
 IMPROVEMENTS

HOSPITAL DRIVE WEST, HOSPITAL CONNECTIONS GRAVITY SEWERS & LIFT STA #6 FM CONNECTION

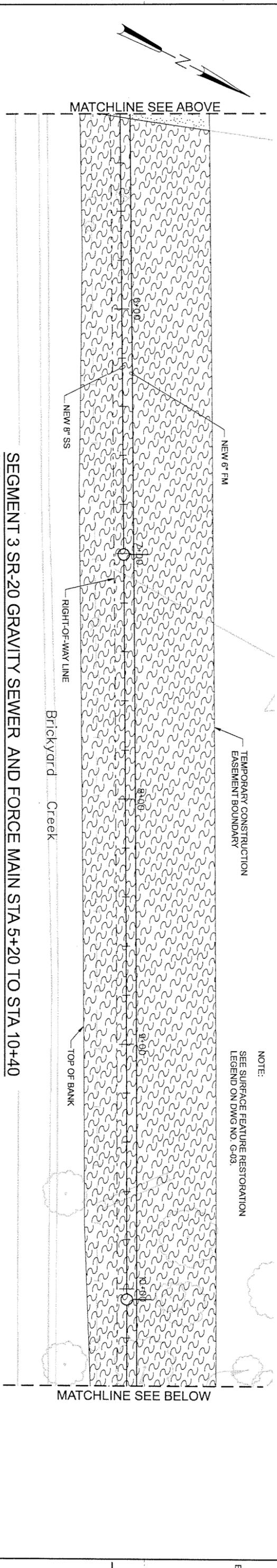
CIVIL
 SHEET 12 of 36
 DWG NO. C-08
 DATE AUG. 2007
 PROJ. 161052.2A3



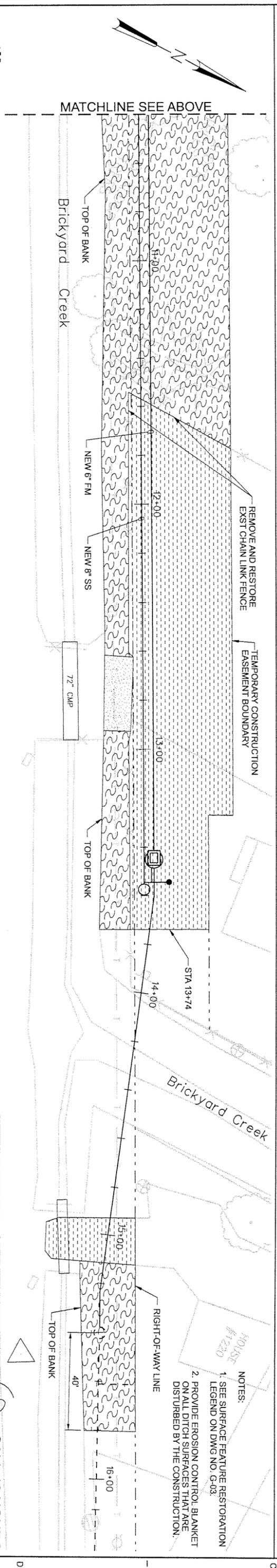


SEGMENT 3 SR-20 GRAVITY SEWER AND FORCE MAIN STA 0+00 TO STA 5+20

NOTE:
SEE SURFACE FEATURE RESTORATION
LEGEND ON DWG NO. G-03.



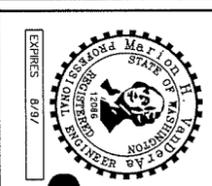
SEGMENT 3 SR-20 GRAVITY SEWER AND FORCE MAIN STA 5+20 TO STA 10+40



SEGMENT 3 SR-20 GRAVITY SEWER AND FORCE MAIN STA 10+40 TO STA 15+40

- NOTES:
1. SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.
 2. PROVIDE EROSION CONTROL BLANKET ON ALL DITCH SURFACES THAT ARE DISTURBED BY THE CONSTRUCTION.

CALL 48 HOURS BEFORE YOU DIG
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DESIGN	DR	APPROV	NO.	DATE	REVISION	BY	APPROV
M. H. VANDERBAA	K. R. WEIGUM	M. H. VANDERBAA					
M. H. VANDERBAA	M. H. VANDERBAA	M. H. VANDERBAA					

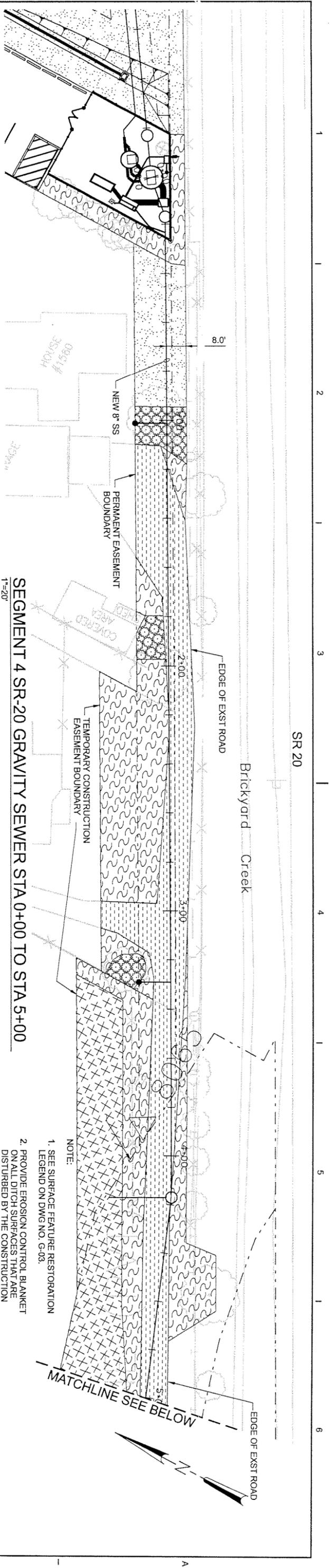
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CITY OF SEDRO-WOOLLEY, WASHINGTON

PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

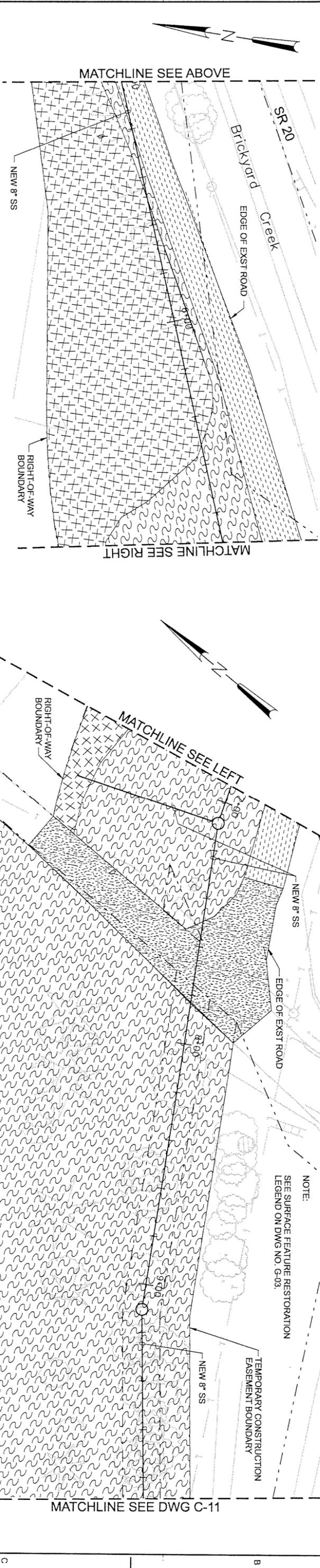
SURFACE FEATURE RESTORATION PLANS

SHEET	DWG NO.	DATE	PROJ NO.
13 of 36	C-09	AUG. 2007	161052.43



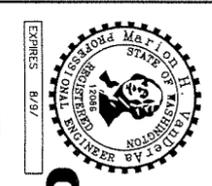
SEGMENT 4 SR-20 GRAVITY SEWER STA 0+00 TO STA 5+00
1"=20'

- NOTE:
1. SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.
 2. PROVIDE EROSION CONTROL BLANKET ON ALL DITCH SURFACES THAT ARE DISTURBED BY THE CONSTRUCTION



SEGMENT 4 SR-20 GRAVITY SEWER STA 5+00 TO STA 10+00
1"=20'

- NOTE:
- SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.



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REUSE OF DOCUMENTS

DESIGN	M. H. VANDERAA
DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA
NO.	DATE
REVISION	

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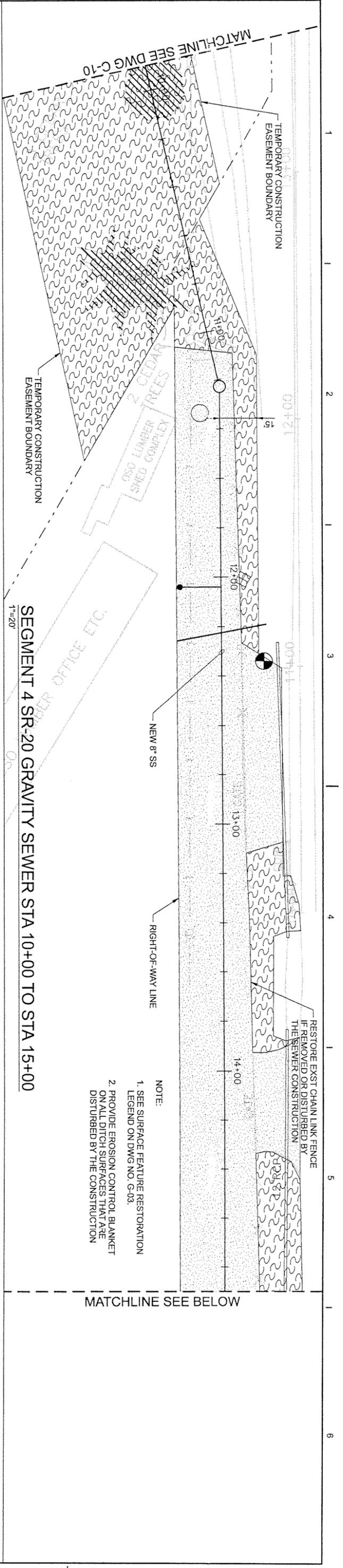
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CITY OF SEDRO-WOOLLEY WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

CIVIL
SURFACE FEATURE RESTORATION PLANS

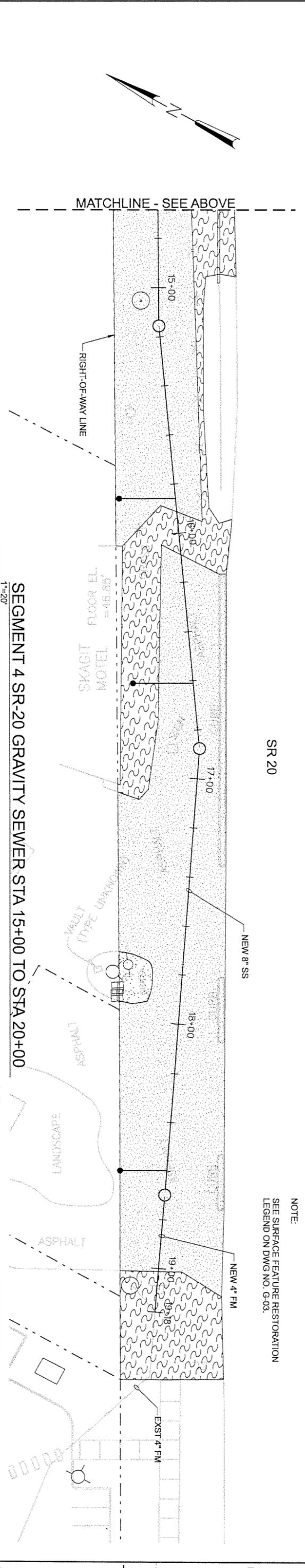
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SHEET	14 of 36
DWG NO.	C-10
DATE	AUG. 2007
PROJ.	161052 A3



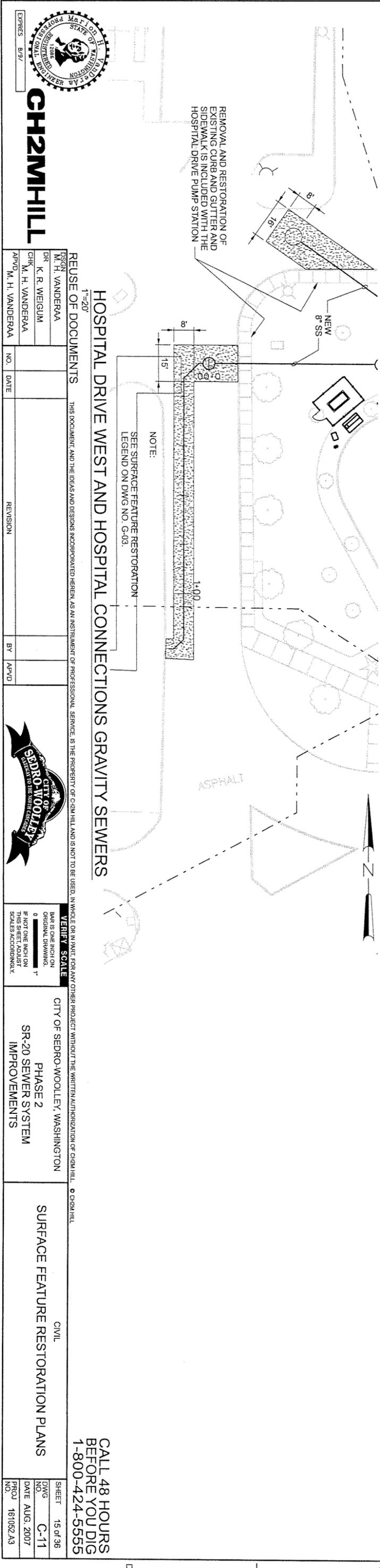
SEGMENT 4 SR-20 GRAVITY SEWER STA 10+00 TO STA 15+00

- NOTE:
1. SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.
 2. PROVIDE EROSION CONTROL BLANKET ON ALL DITCH SURFACES THAT ARE DISTURBED BY THE CONSTRUCTION



SEGMENT 4 SR-20 GRAVITY SEWER STA 15+00 TO STA 20+00

- NOTE:
- SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.



HOSPITAL DRIVE WEST AND HOSPITAL CONNECTIONS GRAVITY SEWERS

- NOTE:
- SEE SURFACE FEATURE RESTORATION LEGEND ON DWG NO. G-03.

REUSE OF DOCUMENTS

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DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA

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1" = 20'

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CITY OF SEDRO-WOOLLEY, WASHINGTON

PHASE 2

SR-20 SEWER SYSTEM IMPROVEMENTS

CIVIL

SURFACE FEATURE RESTORATION PLANS

CALL 48 HOURS BEFORE YOU DIG

1-800-424-5555

SHEET 15 of 36

DWG C-11

DATE AUG. 2007

PROJ 161052.A3

FILENAME: P2-SR20SR-C11.dgn

PLOT DATE: 8/14/2007

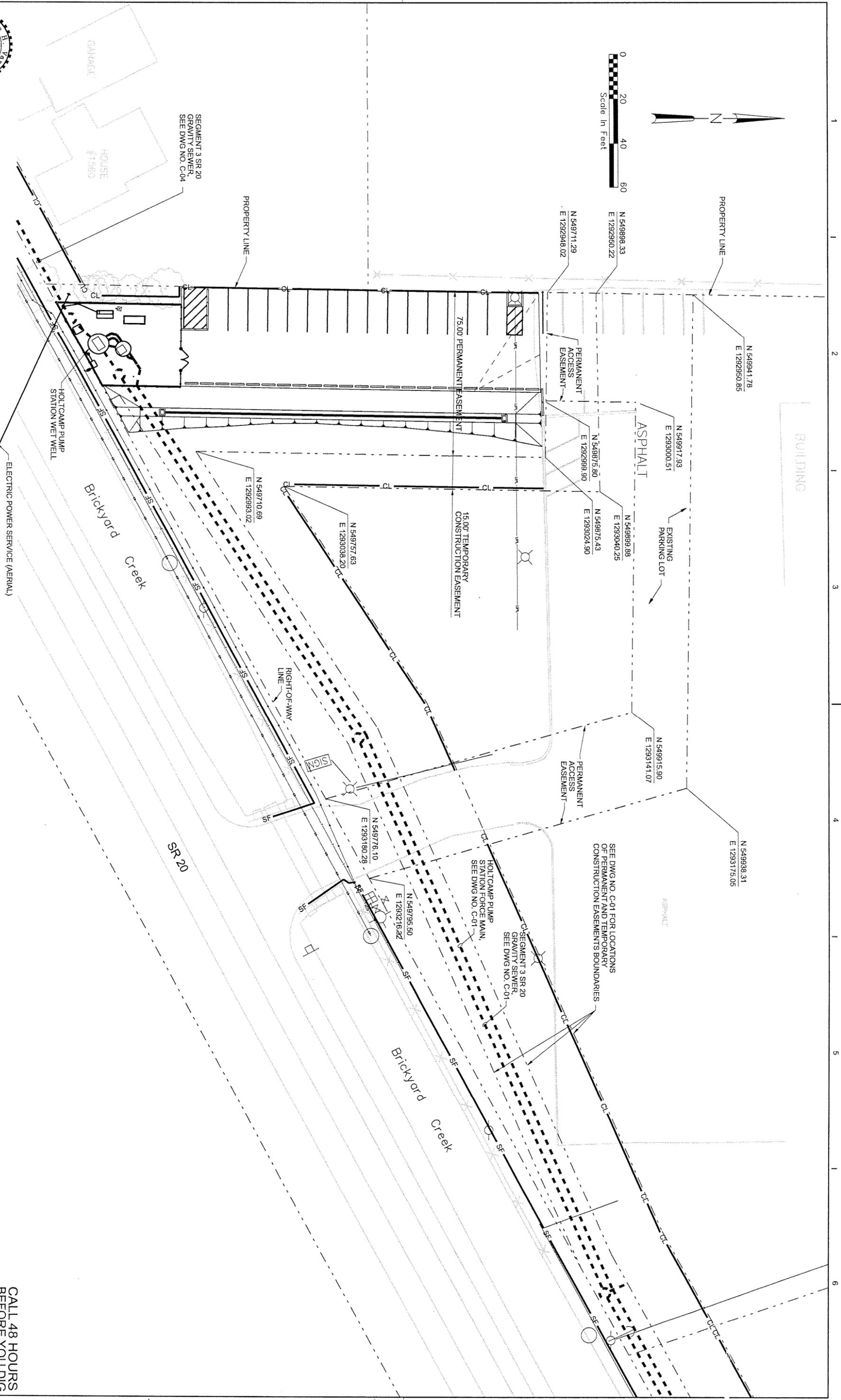
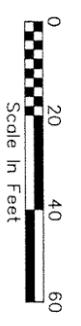
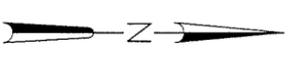
PLOT TIME: 12:14:50 PM

CH2MHILL

REGISTERED PROFESSIONAL ENGINEER

STATE OF WASHINGTON

NO. 161052.A3



SEGMENT 3 SR 20 GRAVITY SEWER, SEE DWG NO. C-04

HOLT CAMP PUMP STATION WET WELL

ELECTRIC POWER SERVICE (AERIAL)

Brickyard Creek

SR-20

Brickyard Creek

ASPHALT

EXISTING PARKING LOT

ASPHALT

HOLT CAMP PUMP STATION FORCE MAIN, SEE DWG NO. C-01

SEGMENT 3 SR 20 GRAVITY SEWER, SEE DWG NO. C-01

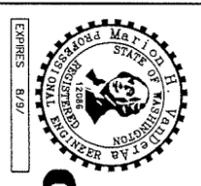
RIGHT-OF-WAY LINE

SIGN

SEE DWG NO. C-01 FOR LOCATIONS OF PERMANENT AND TEMPORARY CONSTRUCTION EASEMENTS BOUNDARIES

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DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APVD	M. H. VANDERAA

NO.	DATE	REVISION



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CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

CIVIL
HOLT CAMP PUMP STATION
OVERALL SITE PLAN

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SHEET	18 of 36
DWG NO.	PS-01
DATE	AUG. 2007
PROJ NO.	161052.23

FILENAME: PLOT DATE: PLOT TIME:

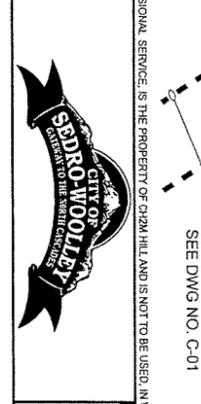


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DR K. R. WIEGUM					
CHK M. H. VANDERAA					
APP'D M. H. VANDERAA					



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SCALE	DATE
1" = 10'-0"	

CITY OF SEDRO-WOLLEY, WASHINGTON

PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

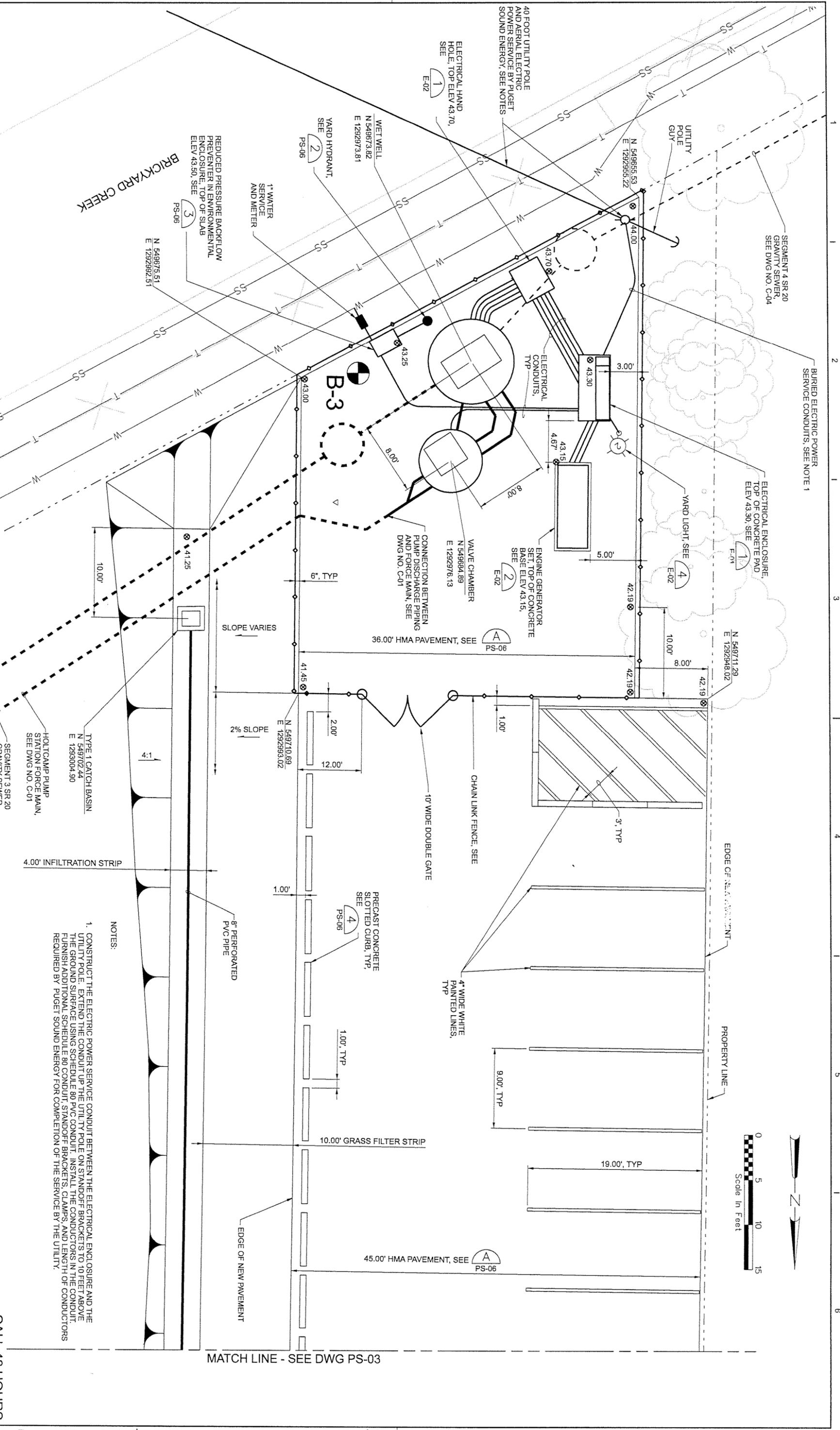
CIVIL

HOLTCAMP PUMP STATION
DETAILED SITE PLAN -
SOUTH

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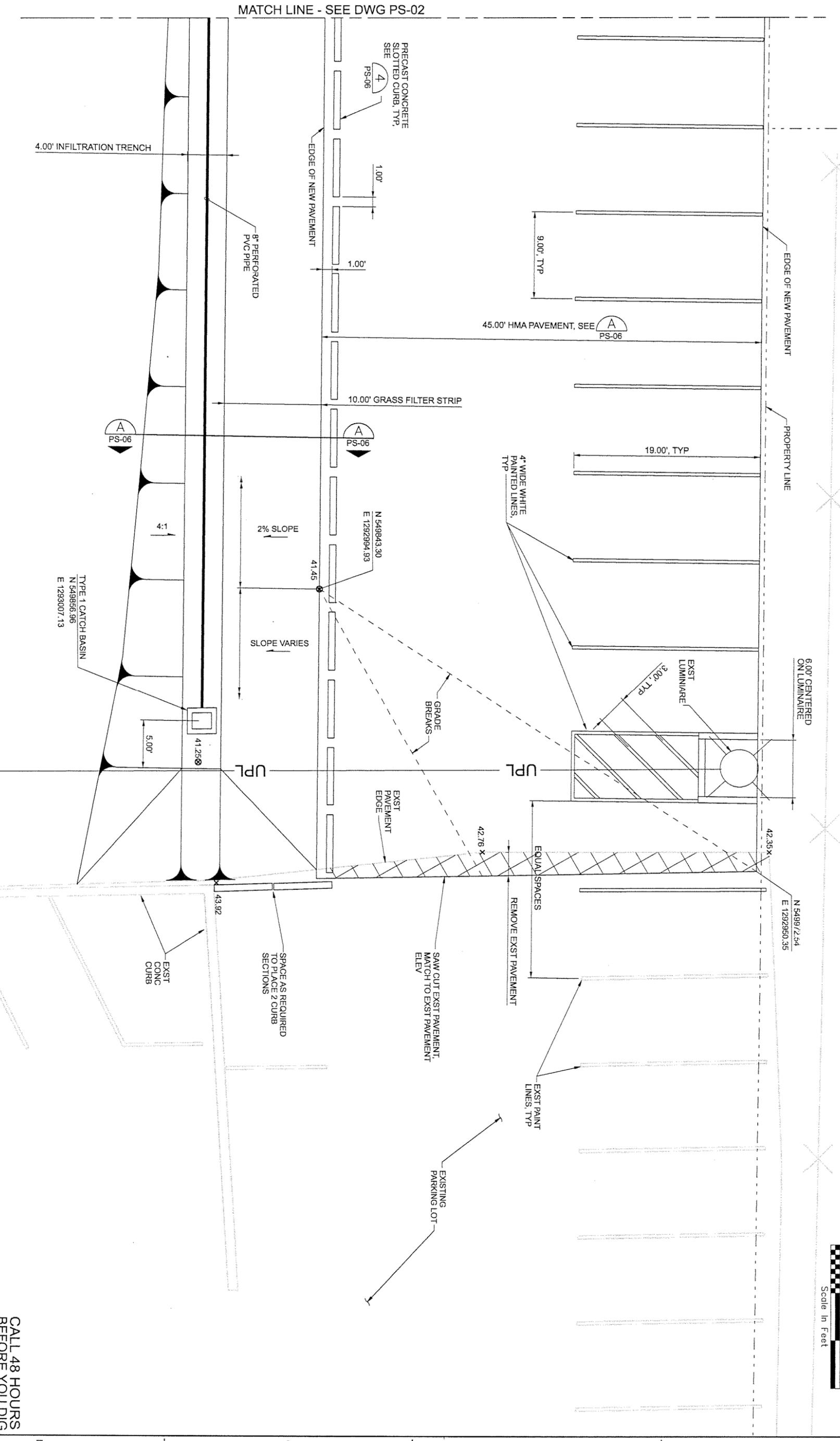
SHEET	NO.	DATE	PROJ.
19 of 36	PS-02	AUG. 2007	161052.A3

FILENAME: P2-SR20PS-F02.dgn PLOT DATE: 8/7/2007 PLOT TIME: 3:36:39 PM

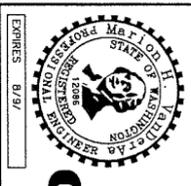


- NOTES:**
- CONSTRUCT THE ELECTRIC POWER SERVICE CONDUIT BETWEEN THE ELECTRICAL ENCLOSURE AND THE UTILITY POLE. EXTEND THE CONDUIT UP THE UTIL TY POLE ON STANDOFF BRACKETS TO 10 FEET ABOVE THE GROUND SURFACE USING SCHEDULE 80 PVC CONDUIT. INSTALL THE CONDUCTORS IN THE CONDUIT. FURNISH ADDITIONAL SCHEDULE 80 CONDUIT, STANDOFF BRACKETS, CLAMPS, AND LENGTH OF CONDUCTORS REQUIRED BY PUGET SOUND ENERGY FOR COMPLETION OF THE SERVICE BY THE UTILITY.

MATCH LINE - SEE DWG PS-03



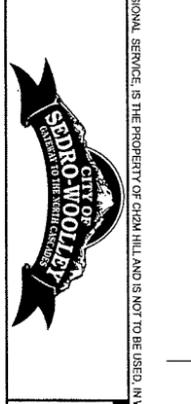
MATCH LINE - SEE DWG PS-02



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OR K. R. WIEGUM				
CHK. M. H. VANDERLAA				
APVD. M. H. VANDERLAA				



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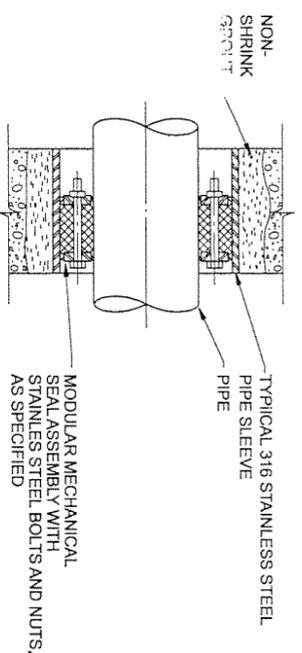
CITY OF SEDRO-WOOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM
 IMPROVEMENTS

CIVIL
 HOLCAMP PUMP STATION
 DETAILED SITE PLAN -
 NORTH

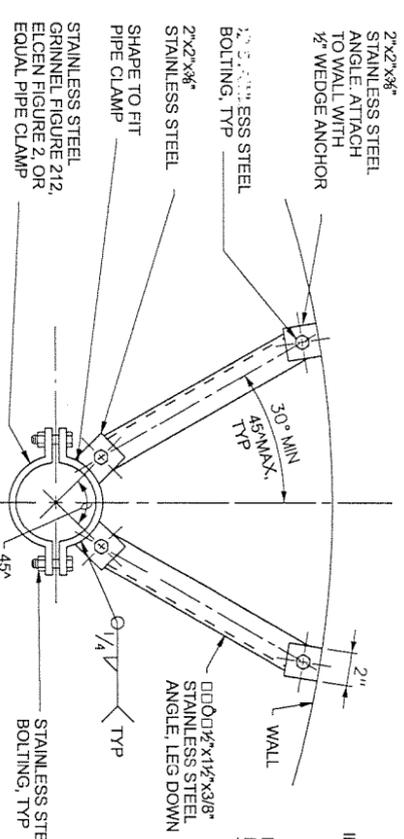
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SHEET	NO.	DATE
PS-03	20 of 36	AUG. 2007

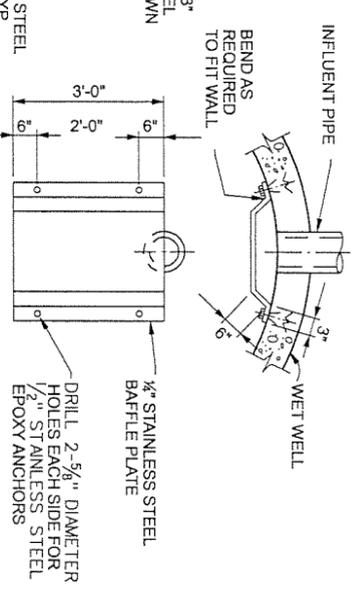
PROJ. NO. 161052.A3



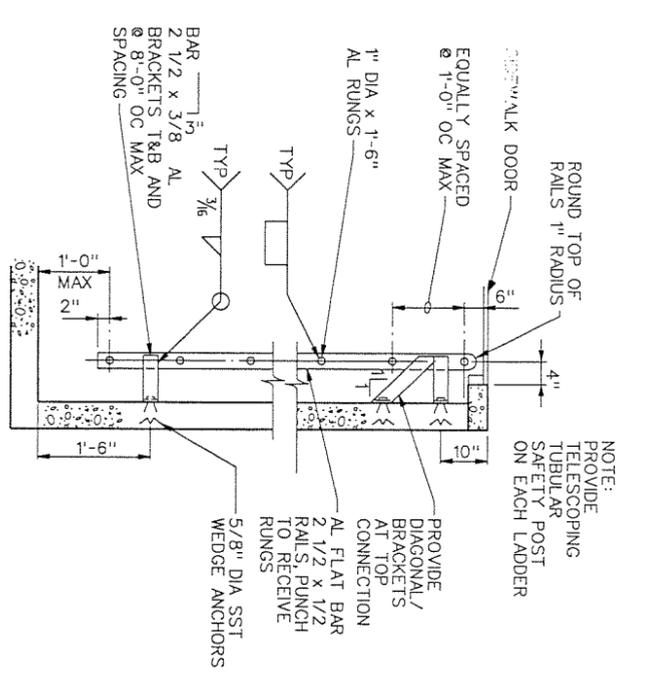
WALL PENETRATION SEAL DETAIL 1
NOT TO SCALE
PS-04
PS-05



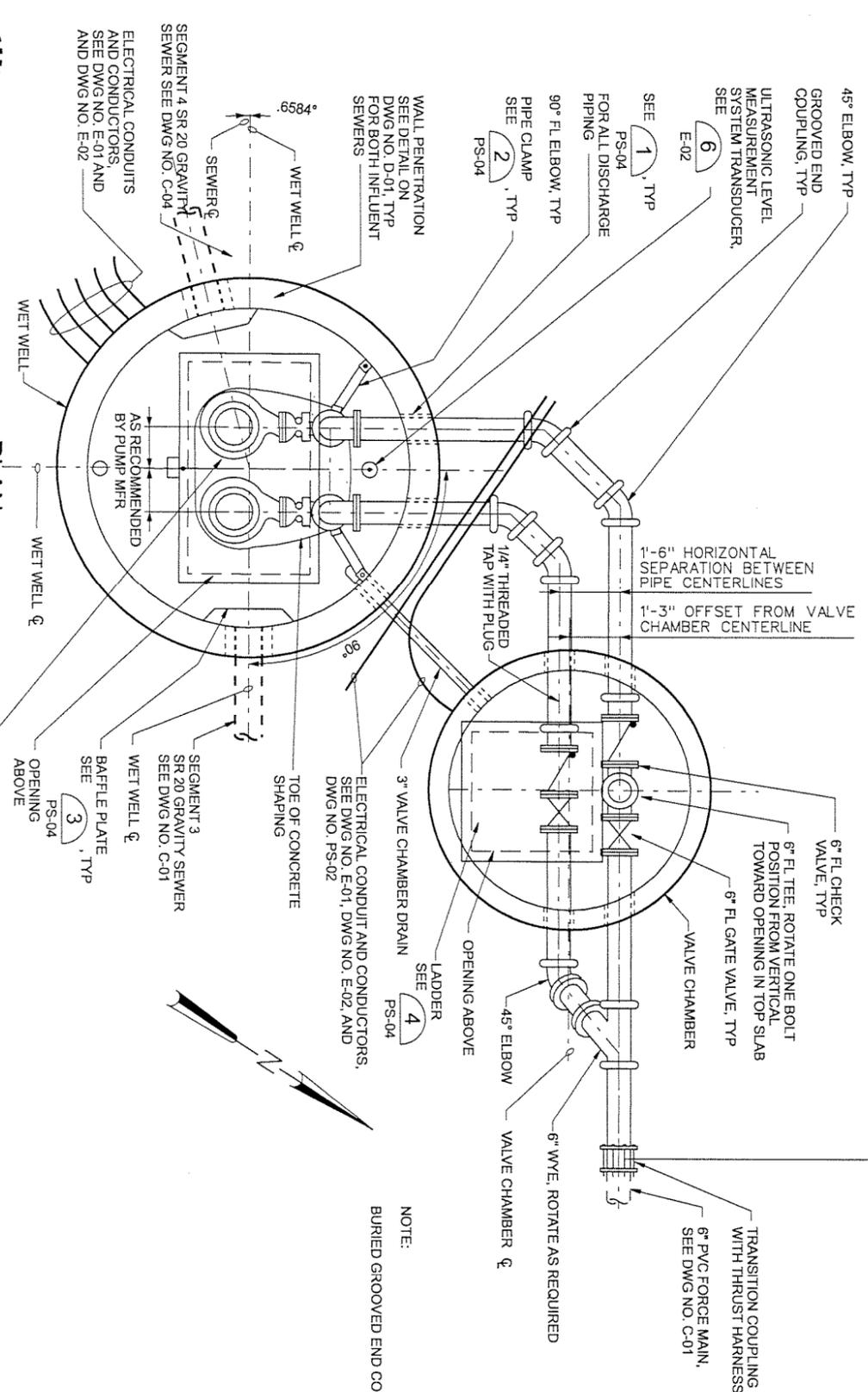
PIPE CLAMP DETAIL 2
NOT TO SCALE
PS-04
PS-05



BAFFLE PLATE DETAIL 3
NOT TO SCALE
PS-04



LADDER DETAIL 4
NTS
PS-04
PS-05



PLAN
1/2" = 1'-0"

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DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APVD	M. H. VANDERAA
NO.	
DATE	

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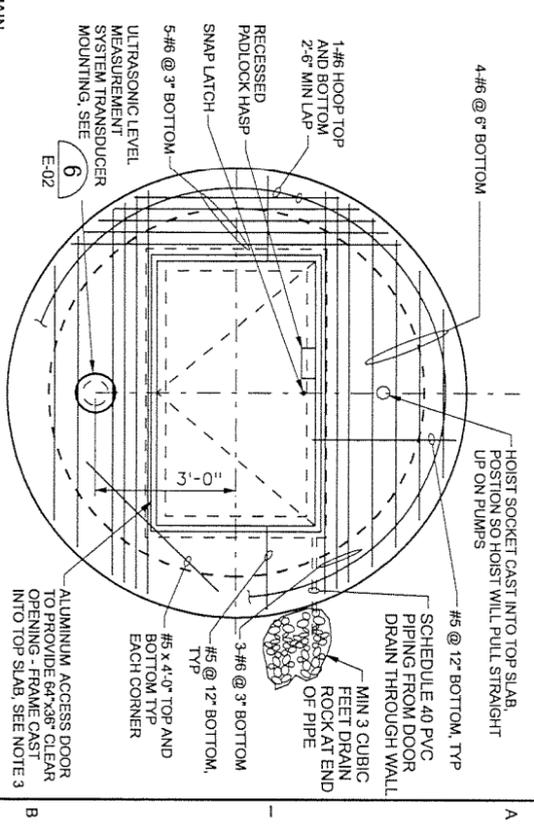
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CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

STRUCTURAL AND MECHANICAL
HOLT CAMP PUMP STATION
MECHANICAL AND STRUCTURAL PLAN

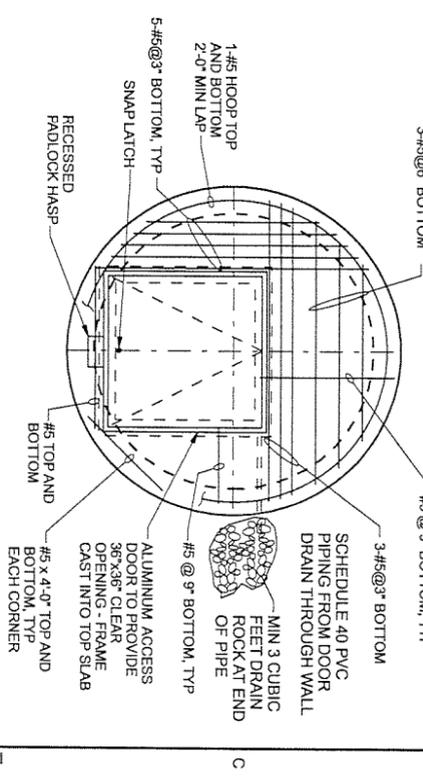
CALL 48 HOURS BEFORE YOU DIG
1-800-424-5555

- NOTES:
1. TOP REINFORCING NOT SHOWN SHALL BE #9@12" EACH WAY.
 2. REINFORCING IS SYMMETRICAL ABOUT CENTERLINES.
 3. ACCESS DOOR IS SHOWN CENTERED IN THE SLAB. ADJUST THE REINFORCING AS REQUIRED TO SUPPORT AN H20 LOAD IF THE ACCESS DOOR LOCATION MUST BE CHANGED. THE LOCATION OF THE ULTRASONIC LEVEL MEASUREMENT SYSTEM TRANSDUCER CAN NOT BE CHANGED.
 4. PROVIDE 2" CLEAR BETWEEN REINFORCING AND TOP AND BOTTOM OF SLAB.



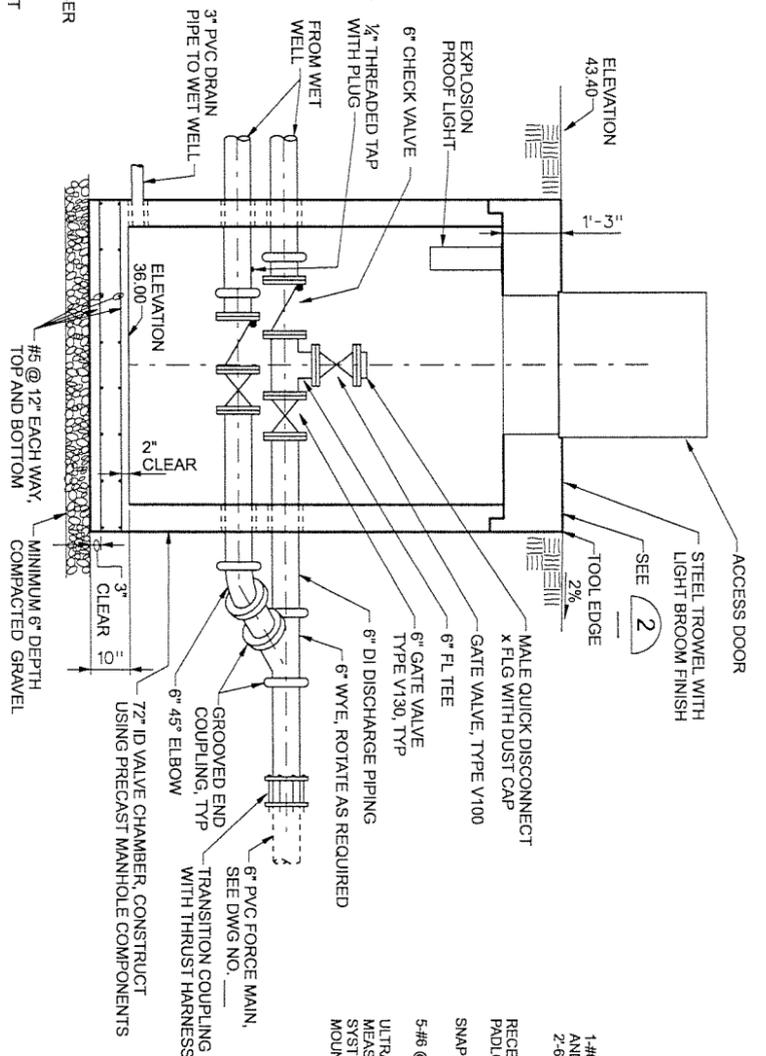
WET WELL TOP SLAB PLAN (1)

- NOTES:
1. TOP REINFORCING, NOT SHOWN, SHALL BE #9" EACH WAY.
 2. REINFORCING IS SYMMETRICAL ABOUT CENTER LINE EACH WAY.
 3. PROVIDE 2" CLEAR BETWEEN REINFORCING AND TOP AND BOTTOM OF SLAB.

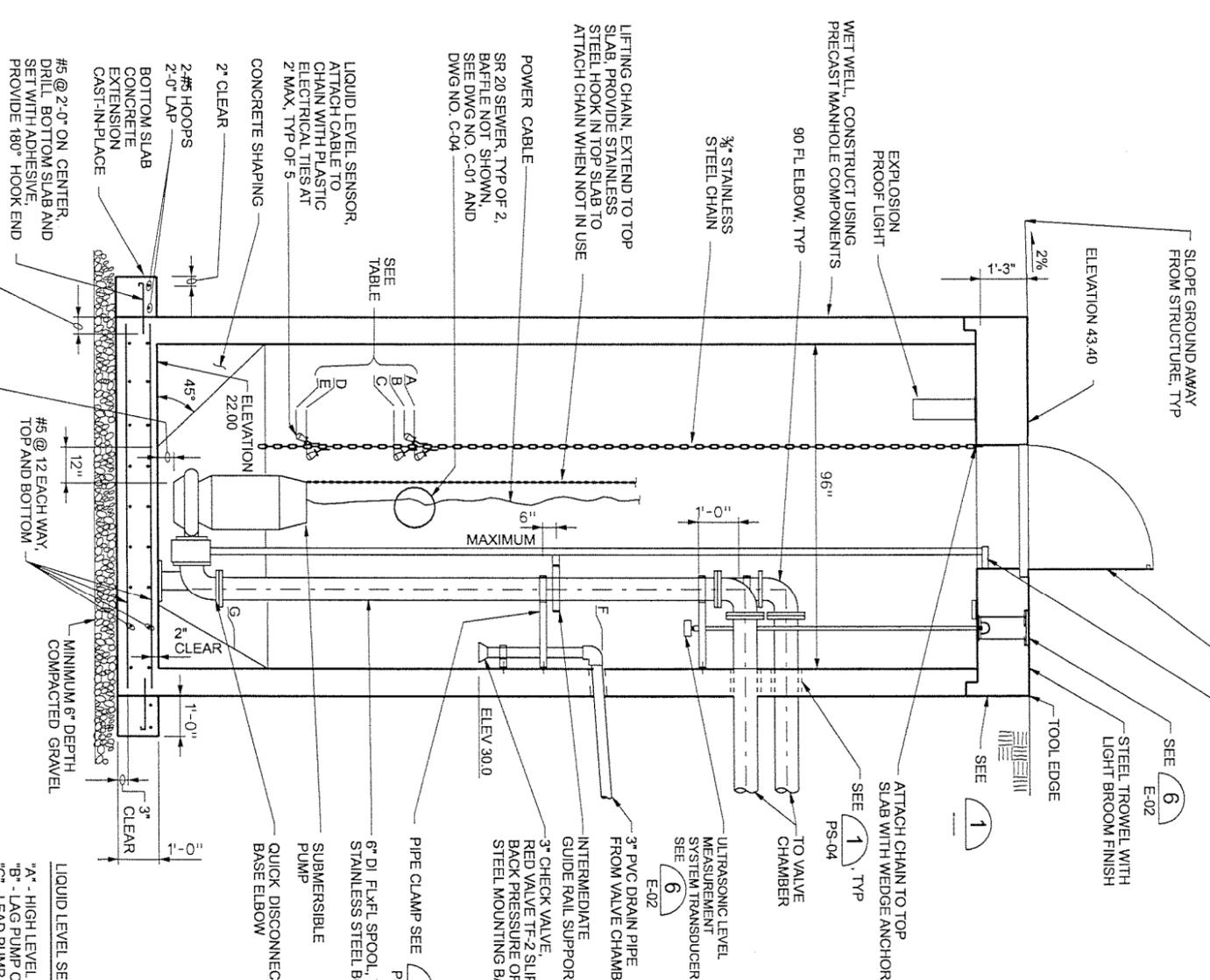


VALVE CHAMBER TOP SLAB PLAN (2)

NOTE:
EQUIP VALVE CHAMBER WITH
LADDERS AS SHOWN IN
PS-04



SECTION A (PS-04)



SECTION A (PS-04)

- LIQUID LEVEL SENSOR ELEVATIONS
- *A - HIGH LEVEL ALARM, ELEV 28.45
 - *B - LAG PUMP ON, ELEV 28.20
 - *C - LEAD PUMP ON, ELEV 27.95
 - *D - PUMPS OFF, ELEV 26.35
 - *E - LOW LEVEL SHUTOFF ALARM, ELEV 26.10
- ULTRASONIC LEVEL MEASUREMENT SYSTEM ELEVATIONS
- *F - UPPER END OF MEASUREMENT RANGE, ELEV 33.00
 - *G - LOWER END OF MEASUREMENT RANGE, ELEV 24.00



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DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA

NO.	DATE	REVISION

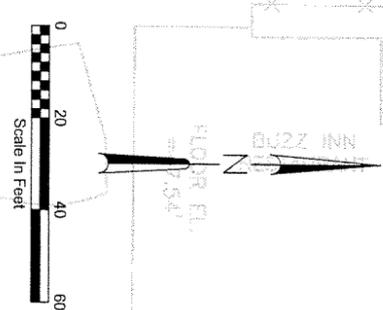
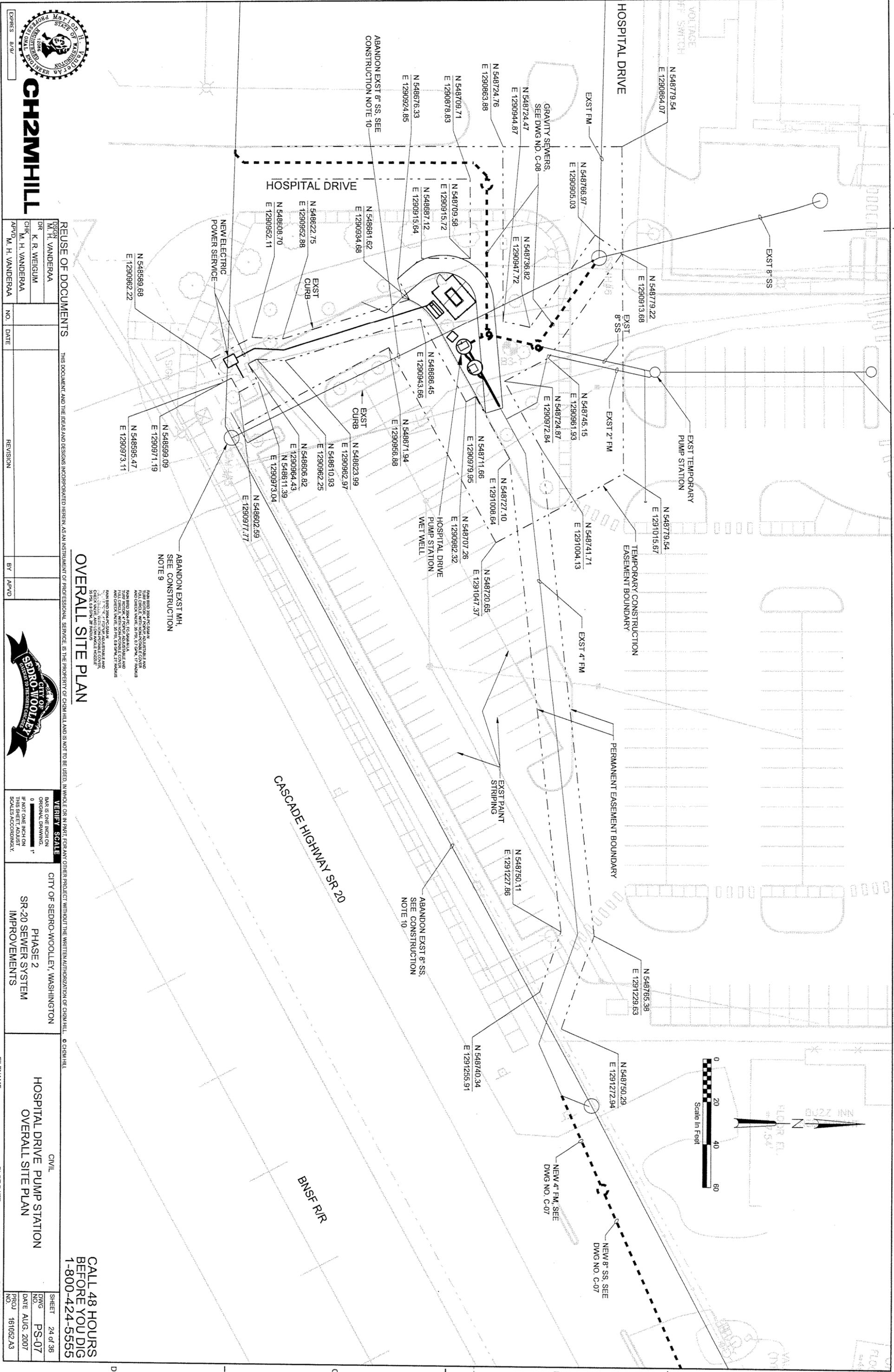


CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

STRUCTURAL AND MECHANICAL
HOLT CAMP PUMP STATION
MECHANICAL AND STRUCTURAL SECTIONS

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FILENAME: P2-SR20PS-P05.dgn PLOT DATE: 8/7/2007 PLOT TIME: 3:39:37 PM



OVERALL SITE PLAN

SEE CONSTRUCTION NOTE 9

ABANDON EXIST MH
 SEE CONSTRUCTION NOTE 9

ABANDON EXIST 8" SS,
 SEE CONSTRUCTION NOTE 10

NEW ELECTRIC
 POWER SERVICE

EXIST CURB

EXIST 2" FM

EXIST 4" FM

EXIST PAINT STRIPING

PERMANENT EASEMENT BOUNDARY

TEMPORARY CONSTRUCTION EASEMENT BOUNDARY

EXIST TEMPORARY PUMP STATION

HOSPITAL DRIVE PUMP STATION

WET WELL

GRAVITY SEWERS, SEE DWG NO. C-08

EXIST FM

HOSPITAL DRIVE

VOLTAGE 4" SWITCH

ABANDON EXIST 8" SS, SEE CONSTRUCTION NOTE 10

NEW 4" FM, SEE DWG NO. C-07

NEW 8" SS, SEE DWG NO. C-07

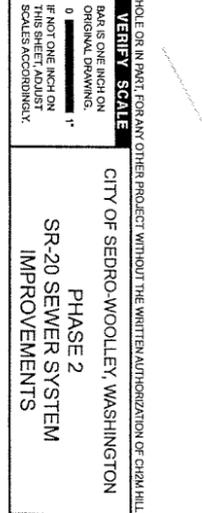


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CHK K. R. WEIGUM			
APP'D M. H. VANDERAA			

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CITY OF SEDRO-WOOLLEY, WASHINGTON

PHASE 2
 SR-20 SEWER SYSTEM IMPROVEMENTS

HOSPITAL DRIVE PUMP STATION
 OVERALL SITE PLAN

CIVIL

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SHEET	DATE	PROJ
24 of 36	AUG. 2007	161052.A3

FILENAME: P3-SR20PS-P07.dwg PLOT DATE: 8/8/2007 PLOT TIME: 2:59:50 PM



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CHECKED BY
CH. M. H. VANDERAA
APPROVED BY
M. H. VANDERAA

NO.	DATE

REVISION	BY	APPROVED

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MATCH LINE - SEE UPPER RIGHT



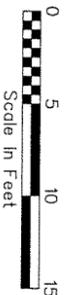
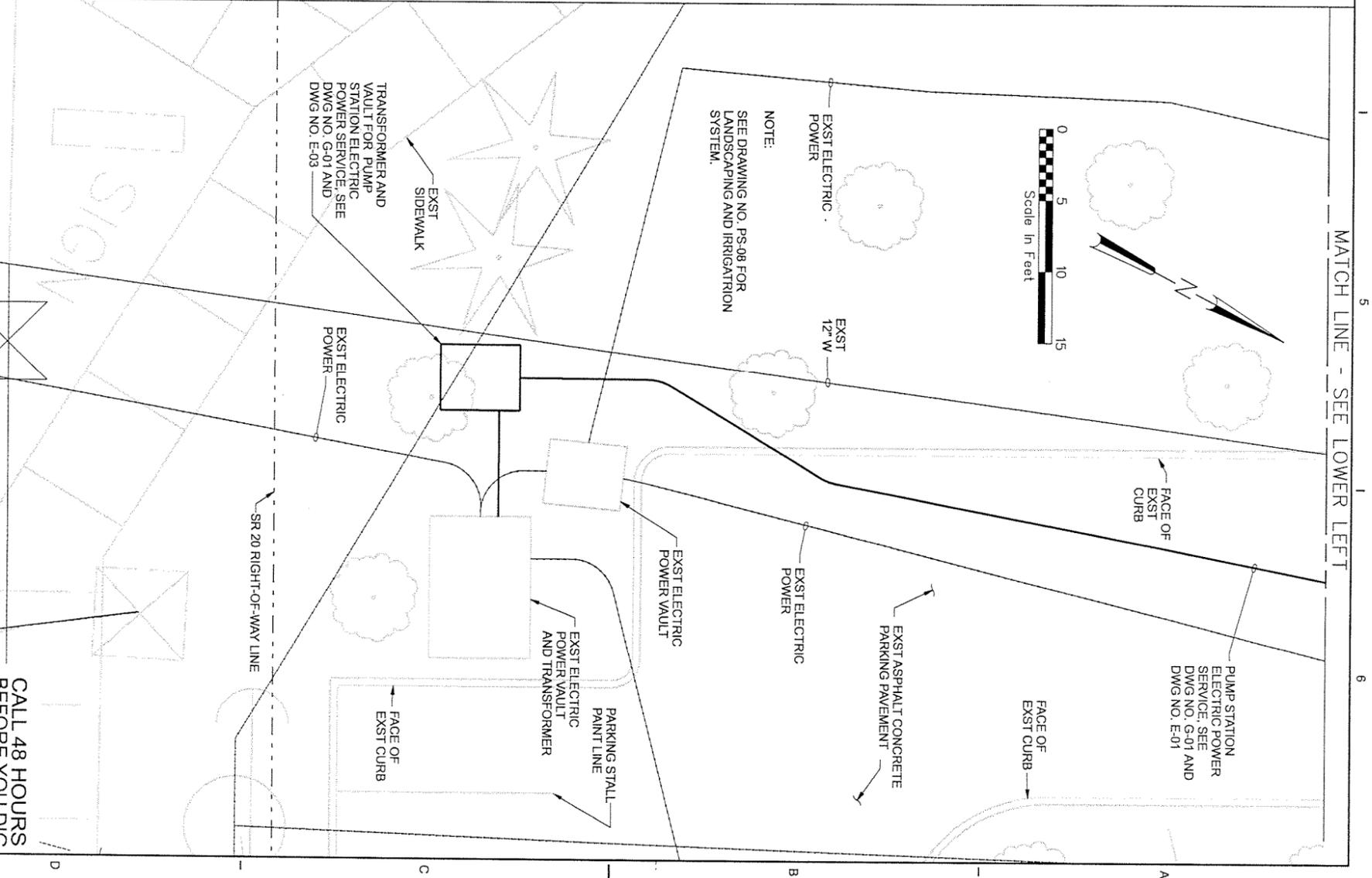
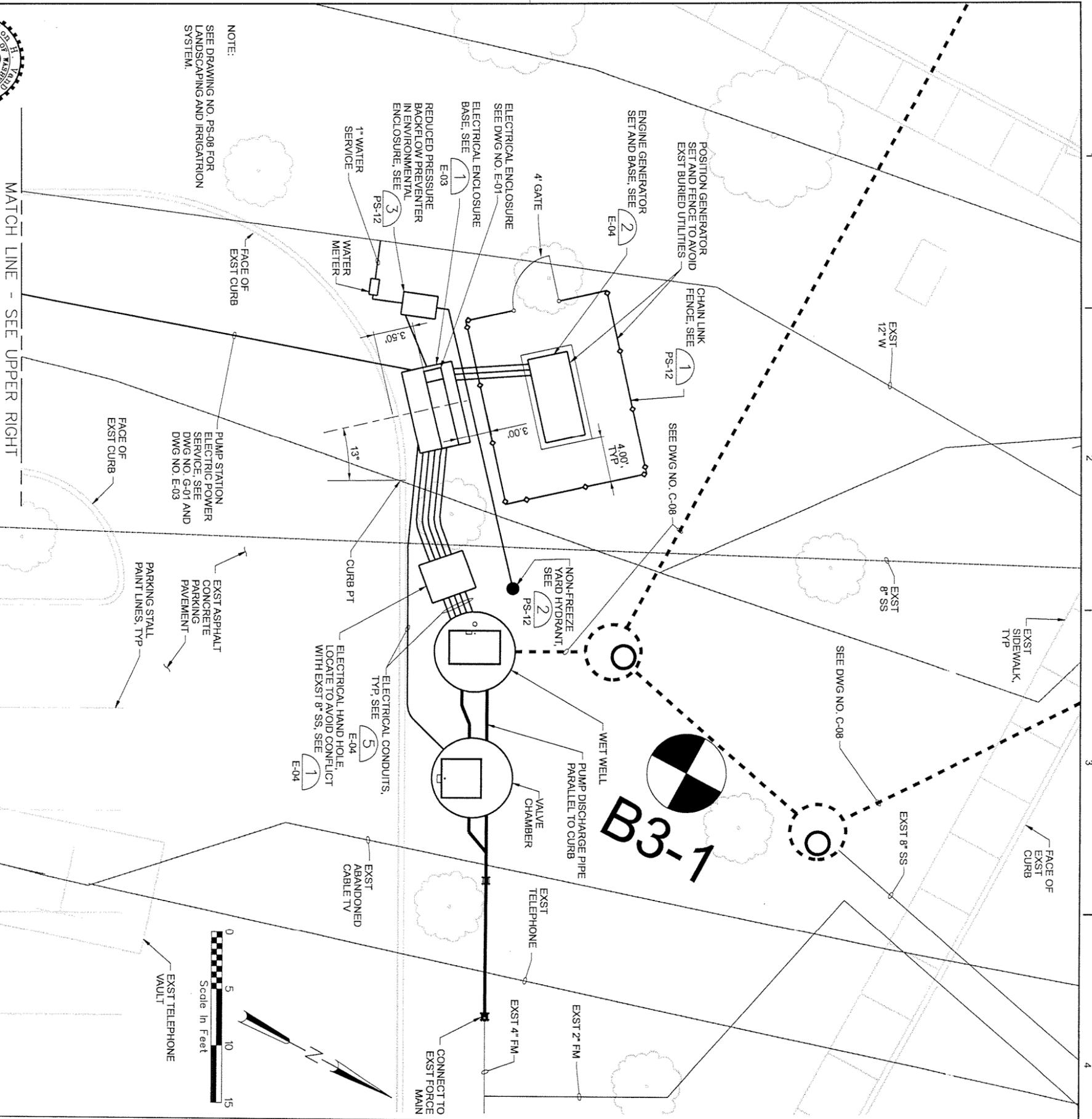
VERIFICATION SCALE
ALL DIMENSIONS ON ORIGINAL DRAWINGS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.
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CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM IMPROVEMENTS

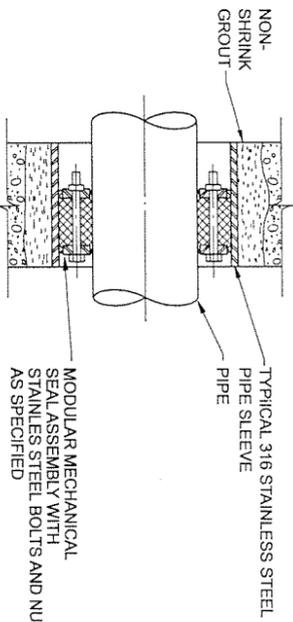
CIVIL
HOSPITAL DRIVE PUMP STATION
DETAILED SITE PLAN

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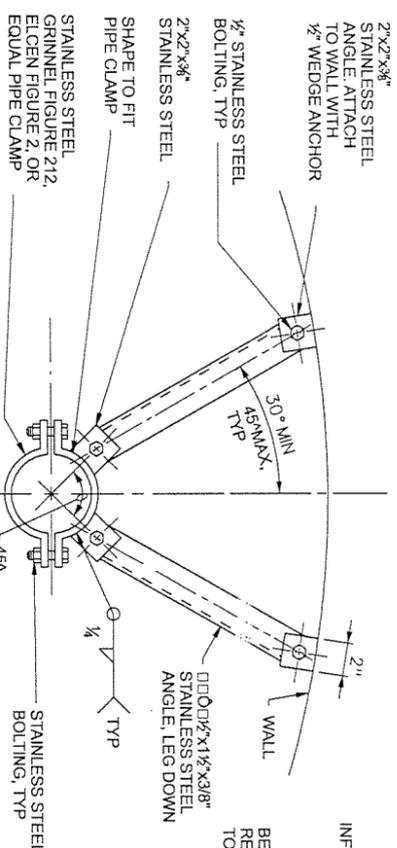
SHEET 26 OF 36
DWG NO. PS-09
DATE AUG. 2007
PROJ. 161052.A3



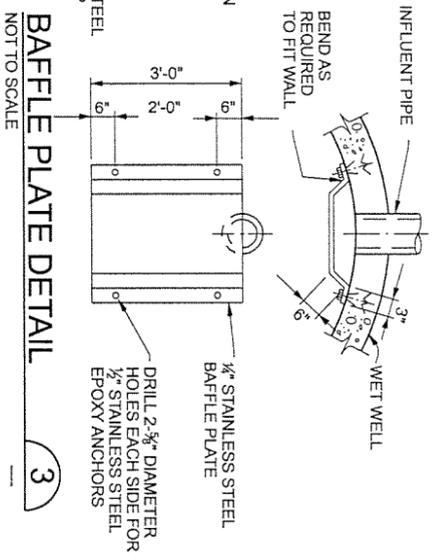
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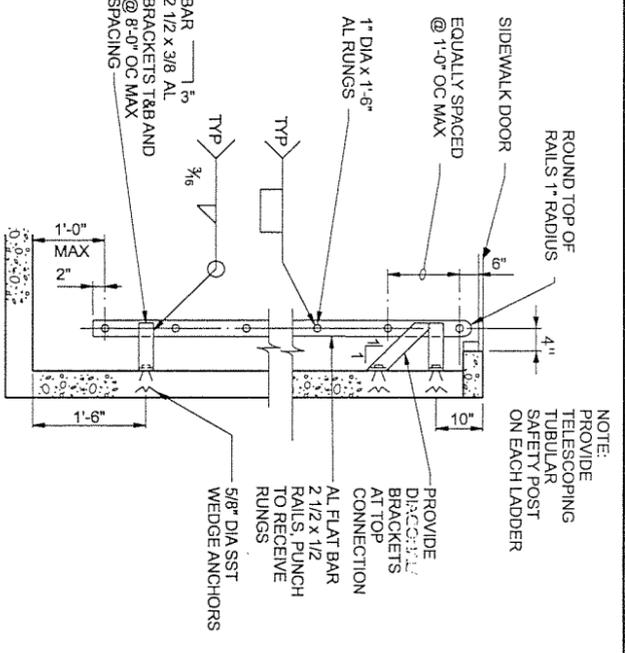
WALL PENETRATION SEAL DETAIL
1
PS-02, PS-03
NOT TO SCALE



PIPE CLAMP DETAIL
2
PS-10, PS-11
NOT TO SCALE



BAFFLE PLATE DETAIL
3
NOT TO SCALE

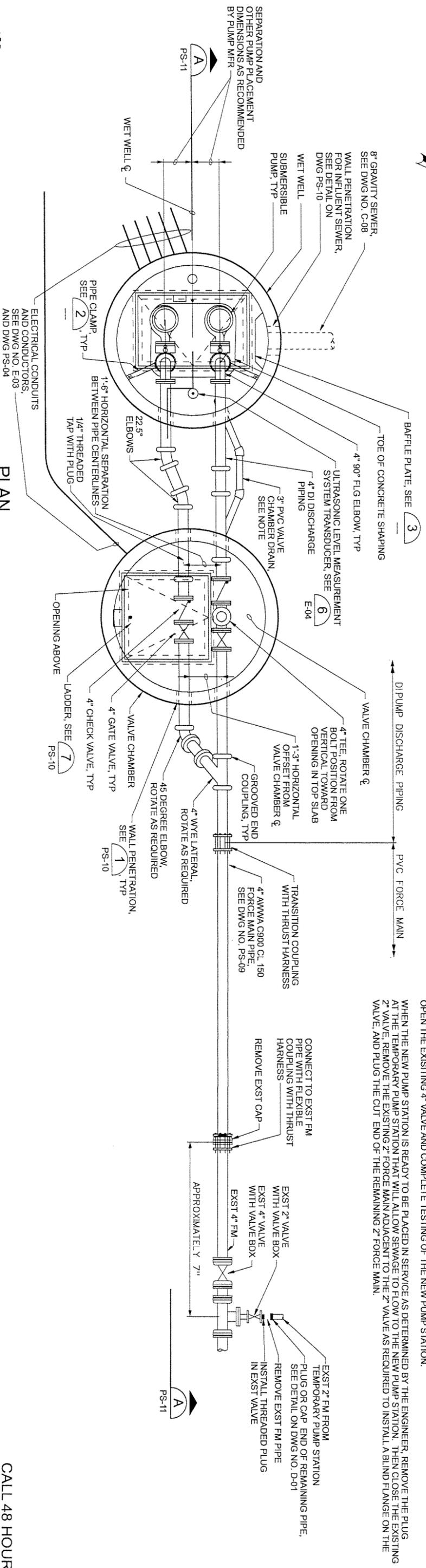


LADDER DETAIL
7
PS-10, PS-11
NOT TO SCALE

- NOTES:
1. LOCATE VALVE CHAMBER DRAIN AT WET WELL TO AVOID CONFLICT WITH BEAM FROM ULTRASONIC LEVEL SYSTEM TRANSDUCER.
 2. BURIED GROOVED END COUPLINGS SHALL BE FLEXIBLE TYPE.

- NOTES:
1. LOCATE VALVE CHAMBER DRAIN AT WET WELL TO AVOID CONFLICT WITH BEAM FROM ULTRASONIC LEVEL SYSTEM TRANSDUCER.
 2. BURIED GROOVED END COUPLINGS SHALL BE FLEXIBLE TYPE.
 3. THE SEQUENCE FOR CONNECTING THE HOSPITAL DRIVE PUMP STATION TO THE EXIST FORCE MAIN AND PLACING THE PUMP STATION IN SERVICE SHALL BE AS FOLLOWS:
REMOVE THE CAP FROM THE END OF THE EXISTING 4" FORCE MAIN AND CONNECT THE PUMP STATION DISCHARGE TO THE EXISTING FORCE MAIN.
OPEN THE EXISTING 4" VALVE AND COMPLETE TESTING OF THE NEW PUMP STATION.

WHEN THE NEW PUMP STATION IS READY TO BE PLACED IN SERVICE AS DETERMINED BY THE ENGINEER, REMOVE THE PLUG AT THE TEMPORARY PUMP STATION THAT WILL ALLOW SEWAGE TO FLOW TO THE NEW PUMP STATION, THEN CLOSE THE EXISTING 2" VALVE, REMOVE THE EXISTING 2" FORCE MAIN ADJACENT TO THE 2" VALVE AS REQUIRED TO INSTALL A BLIND FLANGE ON THE VALVE AND PLUG THE CUT END OF THE REMAINING 2" FORCE MAIN.



PLAN
1/2" = 1'-0"

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CHK	K. R. WEIGUM				
APVD	M. H. VANDERPAA				

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CITY OF SEDRO-WOLLEY, WASHINGTON

PHASE 2
SR-20 SEWER SYSTEM IMPROVEMENTS

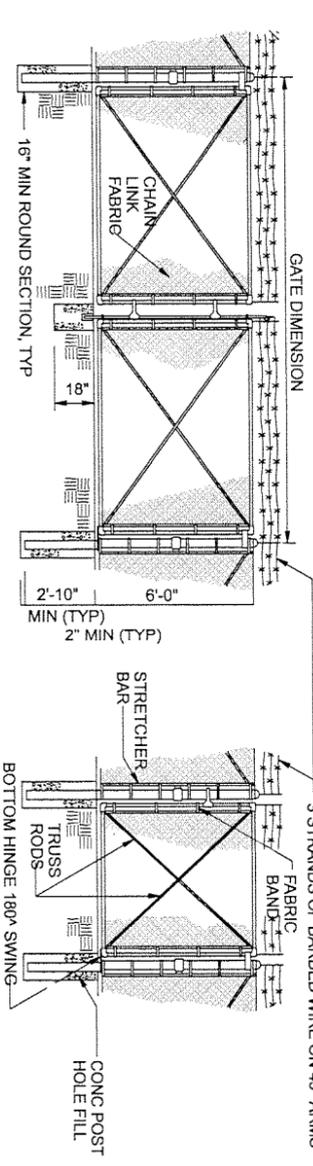
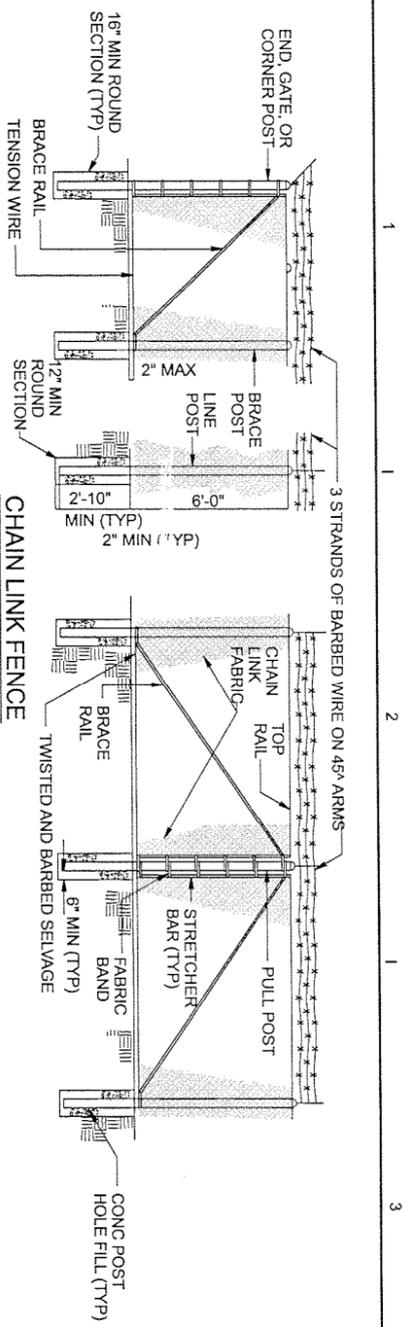
STRUCTURAL AND MECHANICAL

HOSPITAL DRIVE PUMP STATION
MECHANICAL AND STRUCTURAL PLAN

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SHEET 27 of 36
DWG NO. PS-10
DATE AUG. 2007
PROJ. 181092.A3

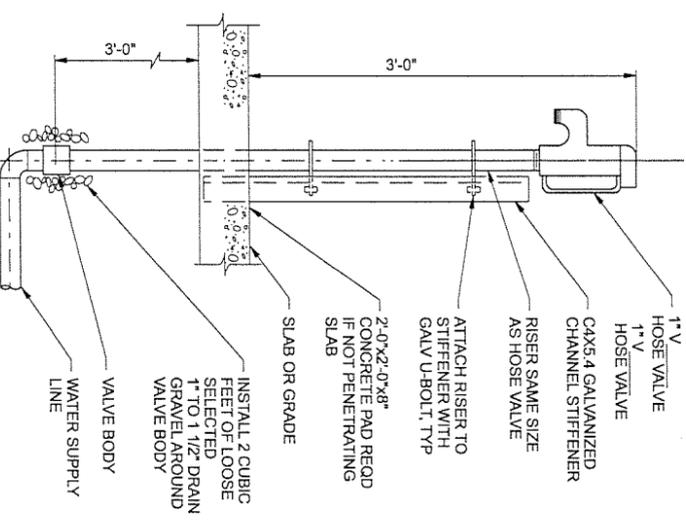
FILENAME: P3-SR20P3-P10.dgn PLOT DATE: 8/7/2007 PLOT TIME: 5:17:58 PM



NOTE:
MINIMUM POST LENGTH 8'-8"

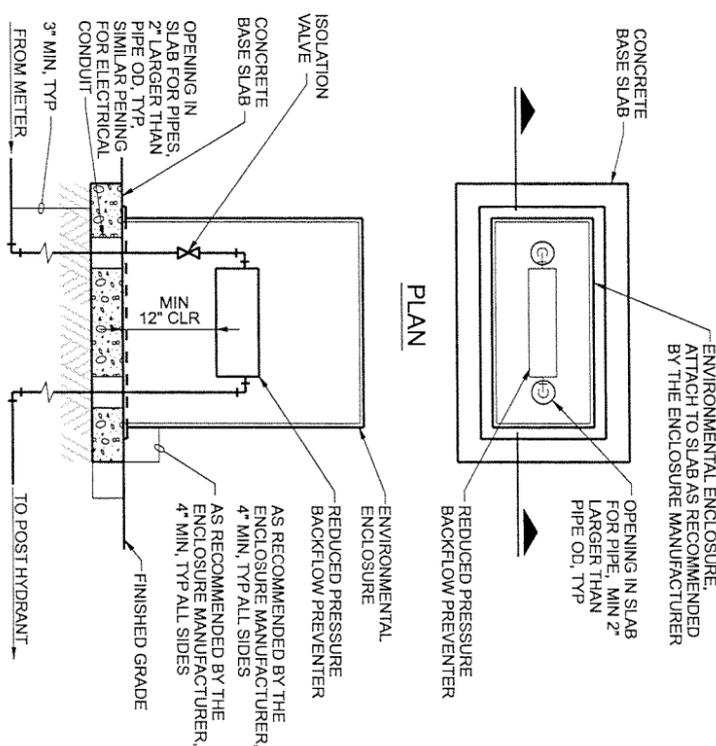
CHAIN LINK GATES

1
PS-09



NON-FREEZE POST HYDRANT

2
PS-09



REDUCED PRESSURE BACKFLOW PREVENTER INSTALLATION

3
PS-09



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NO.	DATE	REVISION



SEDRO-WOOLLEY

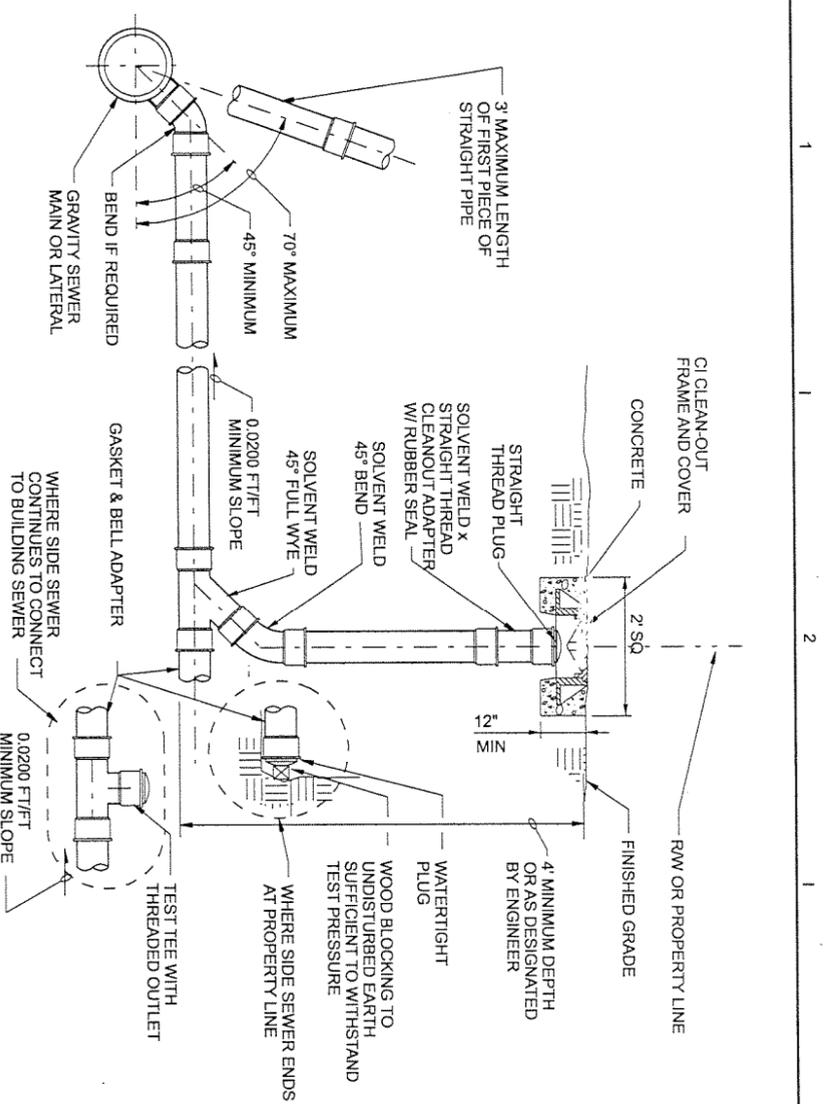
CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM
IMPROVEMENTS

DETAILS
HOSPITAL DRIVE PUMP STATION
DETAILS

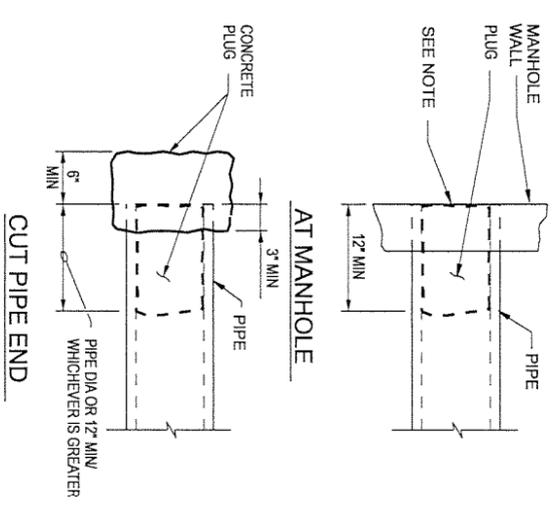
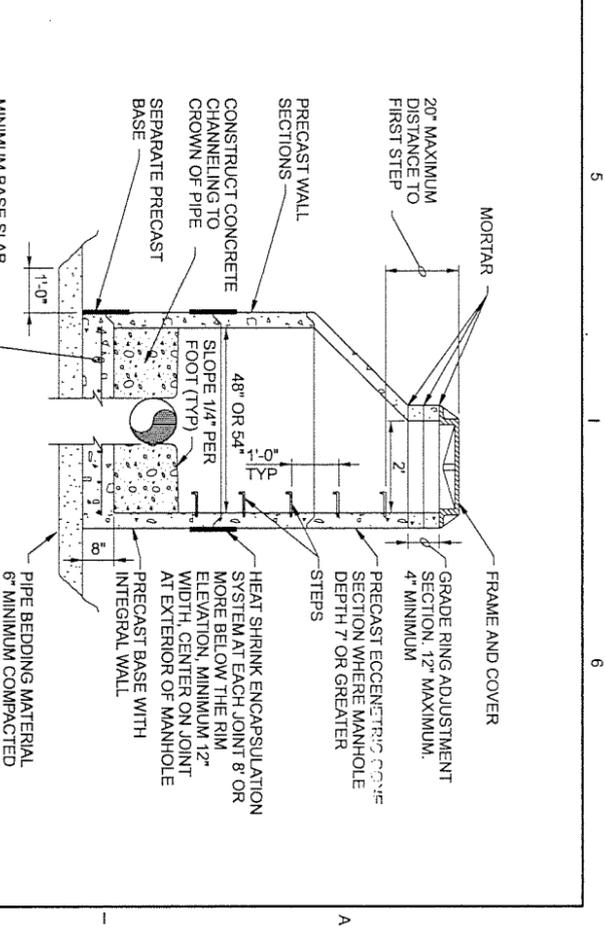
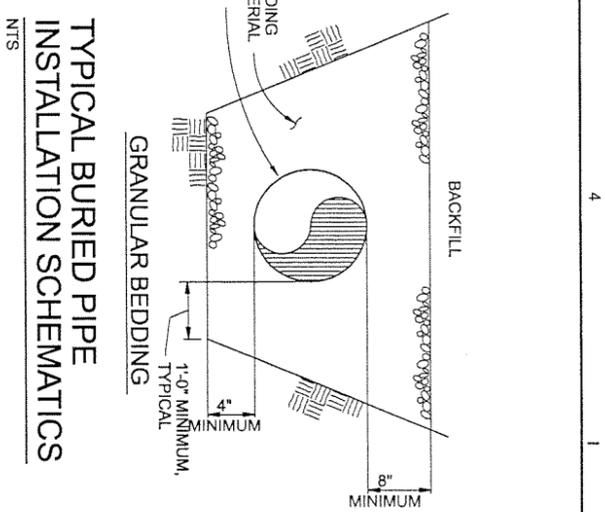
CALL 48 HOURS BEFORE YOU DIG
1-800-424-5555

SHEET	29 of 36
DWG	PS-12
DATE	AUG. 2007
PROJ	161052 A3

FILENAME: P3-SR20PS-P12.dgn PLOT DATE: 8/7/2007 PLOT TIME: 5:19:37 PM

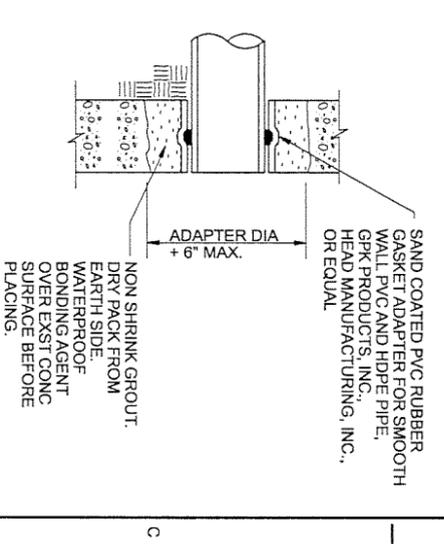


GRAVITY SIDE SEWER & CLEANOUT
NTS



NOTE:
IF THERE IS NO CHANNELING FOR THE PIPE BEING PLUGGED, STEEL TROWEL THE PLUG TO A SMOOTH SURFACE CONFORMING TO THE INSIDE SURFACE OF THE MANHOLE.
IF THERE IS CHANNELING, FILL THE CHANNEL FOR THE PIPE BEING PLUGGED WITH CONCRETE. STEEL TROWEL ALL EXPOSED NEW CONCRETE SURFACES SMOOTH.

PIPE PLUGGING DETAILS
SCALE: NTS



NOTE:
AT EXISTING MH'S CUT OPENING IN WALL AND REMOVE ONLY ENOUGH REINFORCING STEEL TO INSTALL PIPE.
MANHOLE PENETRATION DETAIL
SCALE: NTS



CH2M HILL

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DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APPROV	M. H. VANDERAA

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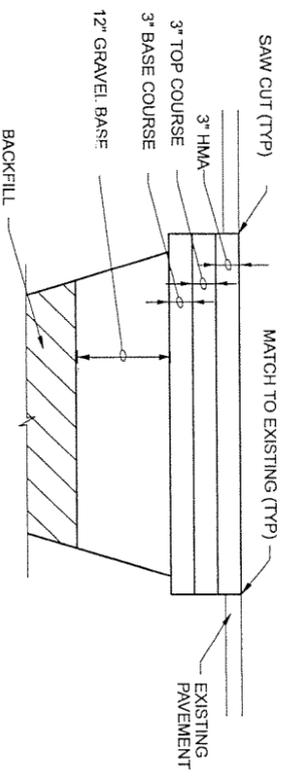
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CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM IMPROVEMENTS

SEWER DETAILS

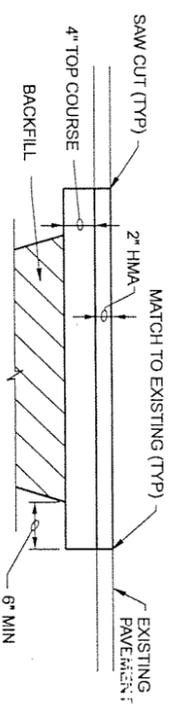
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SHEET	30 of 36
DATE	AUG. 2007
PROJ	161052.A3



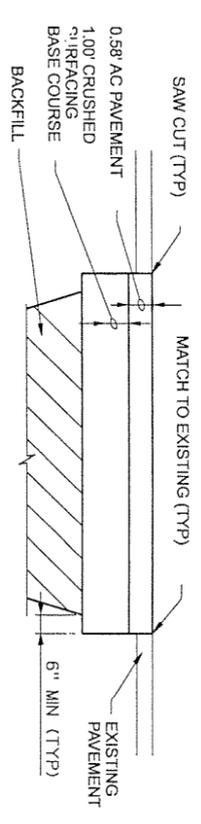
ASPHALT CONCRETE STREET PAVEMENT RESTORATION (EXCEPT SR 20)

SCALE: NTS



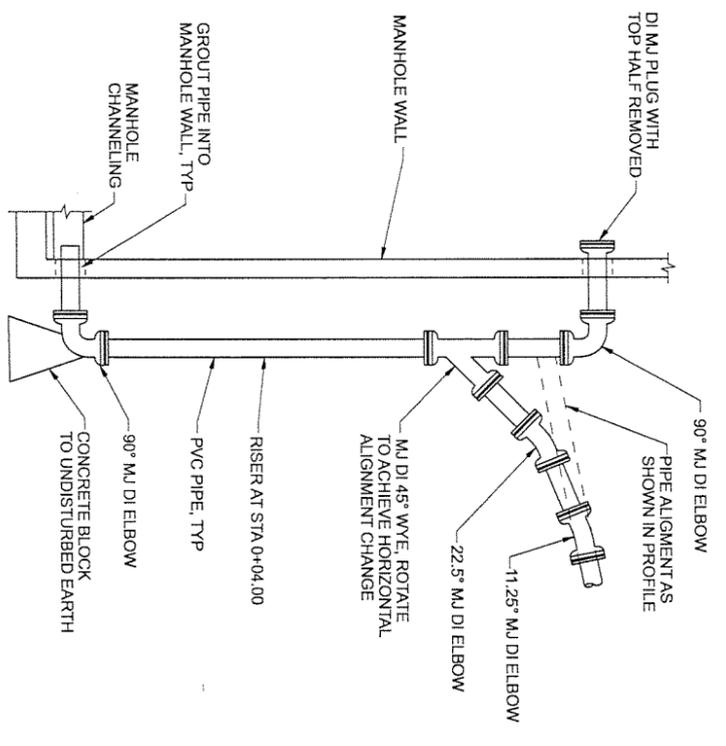
ASPHALT CONCRETE DRIVEWAY AND PARKING LOT RESTORATION

SCALE: NTS



SR 20 ASPHALT CONCRETE PAVEMENT RESTORATION

SCALE: NTS



LIFT STATION 6 FORCE MAIN CONNECTION TO MH SR 20 3-2

SCALE: NTS



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DESIGN	M. H. VANDERAA
DR	K. R. WEIGUM
CHK	M. H. VANDERAA
APP'D	M. H. VANDERAA

NO.	DATE	REVISION	BY



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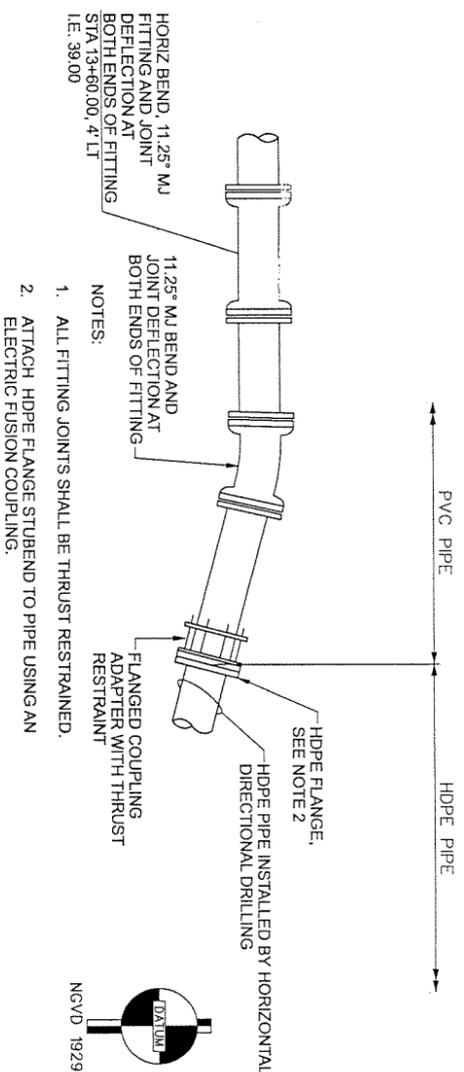
CITY OF SEDRO-WOLLEY, WASHINGTON
 PHASE 2
 SR-20 SEWER SYSTEM IMPROVEMENTS

DETAILS
SEWER DETAILS

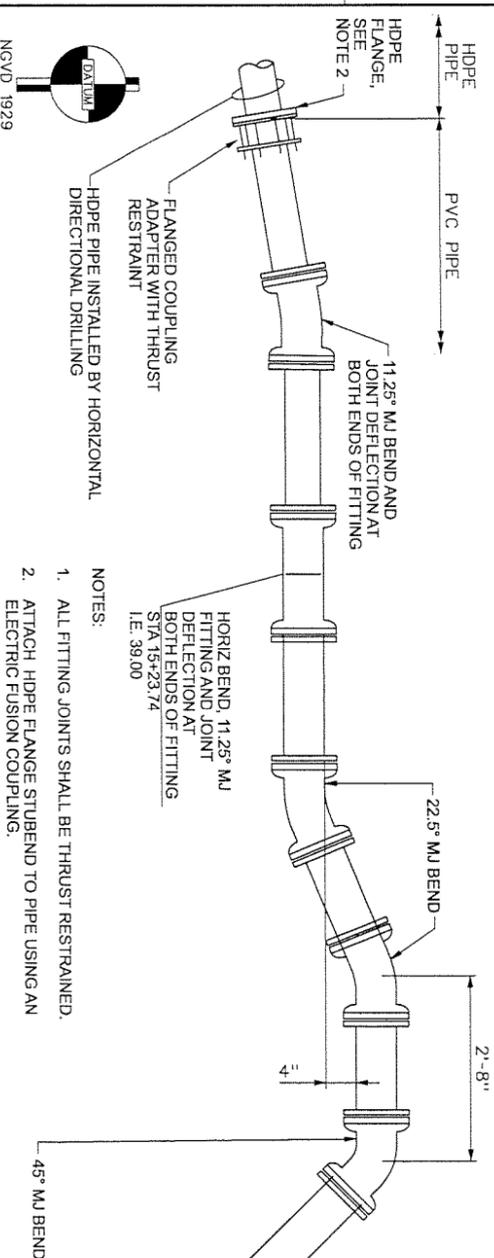
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SHEET	31 of 36
DWG NO.	D-02
DATE	AUG. 2007
PROJ	161052-A3

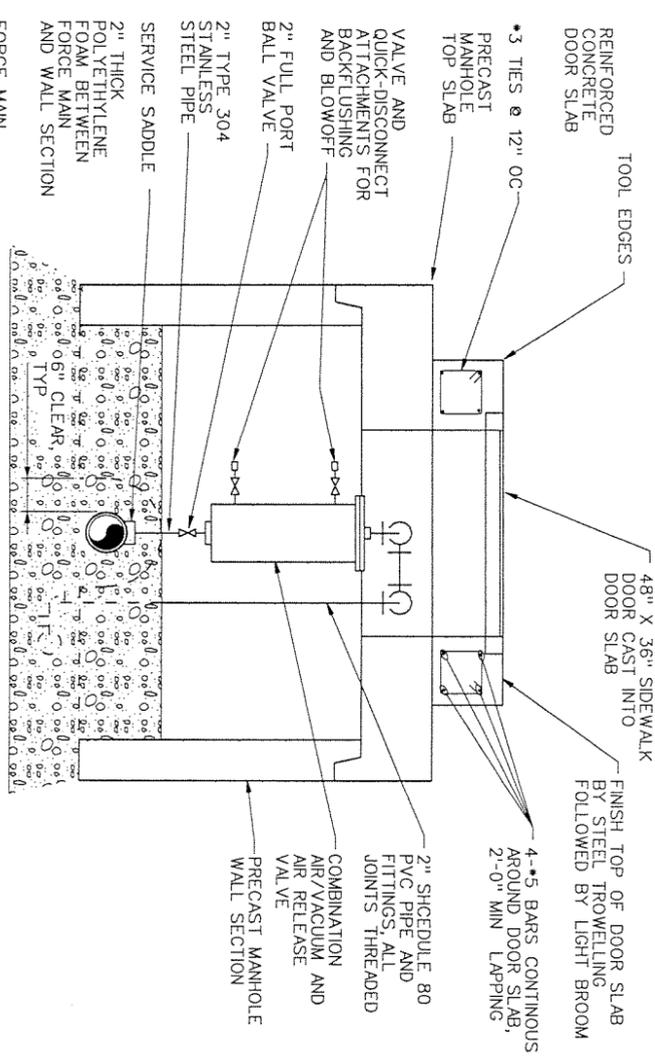


HOLT CAMP PUMP STATION FORCE MAIN DETAIL PROFILE AT WEST END OF BRICKYARD CREEK UNDERCROSSING

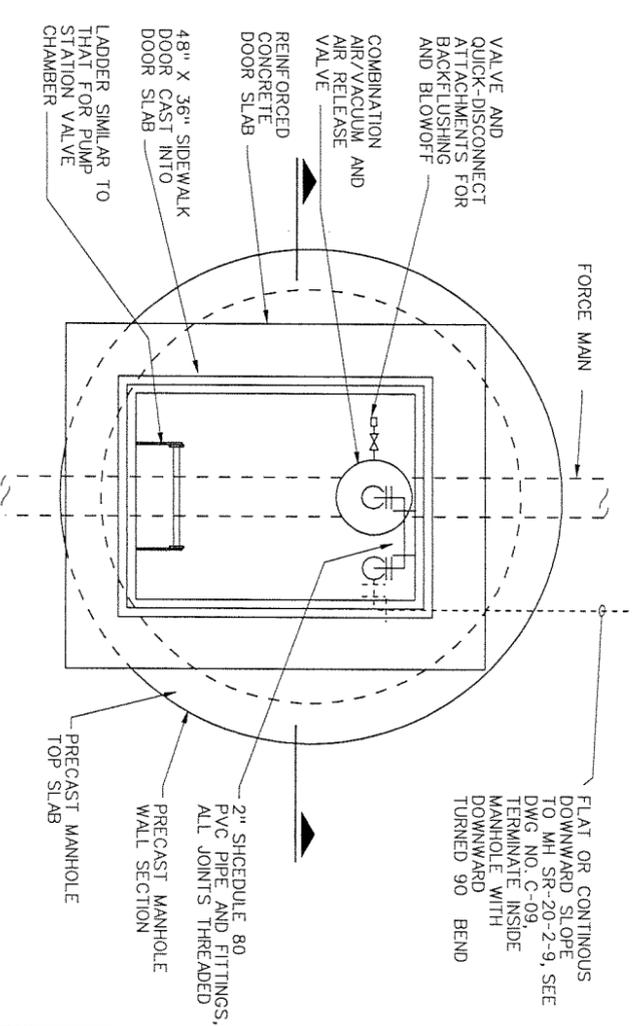


HOLT CAMP PUMP STATION FORCE MAIN DISCHARGE CONNECTION DETAIL PROFILE

C-03
C-07



SECTION



PLAN

AIR VALVE STATION

SCALE: NTS

C-09



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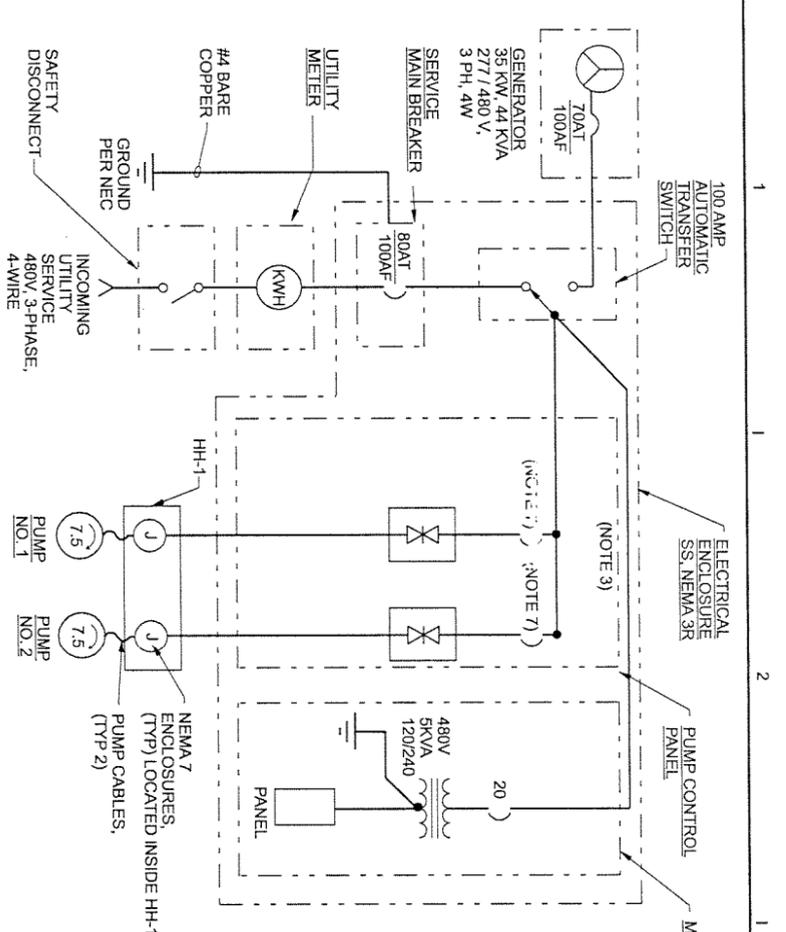
CITY OF SEDRO-WOOLLEY, WASHINGTON
PHASE 2
SR-20 SEWER SYSTEM IMPROVEMENTS

DETAILS
SEWER DETAILS

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SHEET	32 of 36
DWG NO.	D-03
DATE	AUG. 2007
PROJ	181092.A3

FILENAME: A2SR2002-003.dgn PLOT DATE: 8/7/2007 PLOT TIME: 5:30:51 PM



ELECTRICAL ONE LINE DIAGRAM

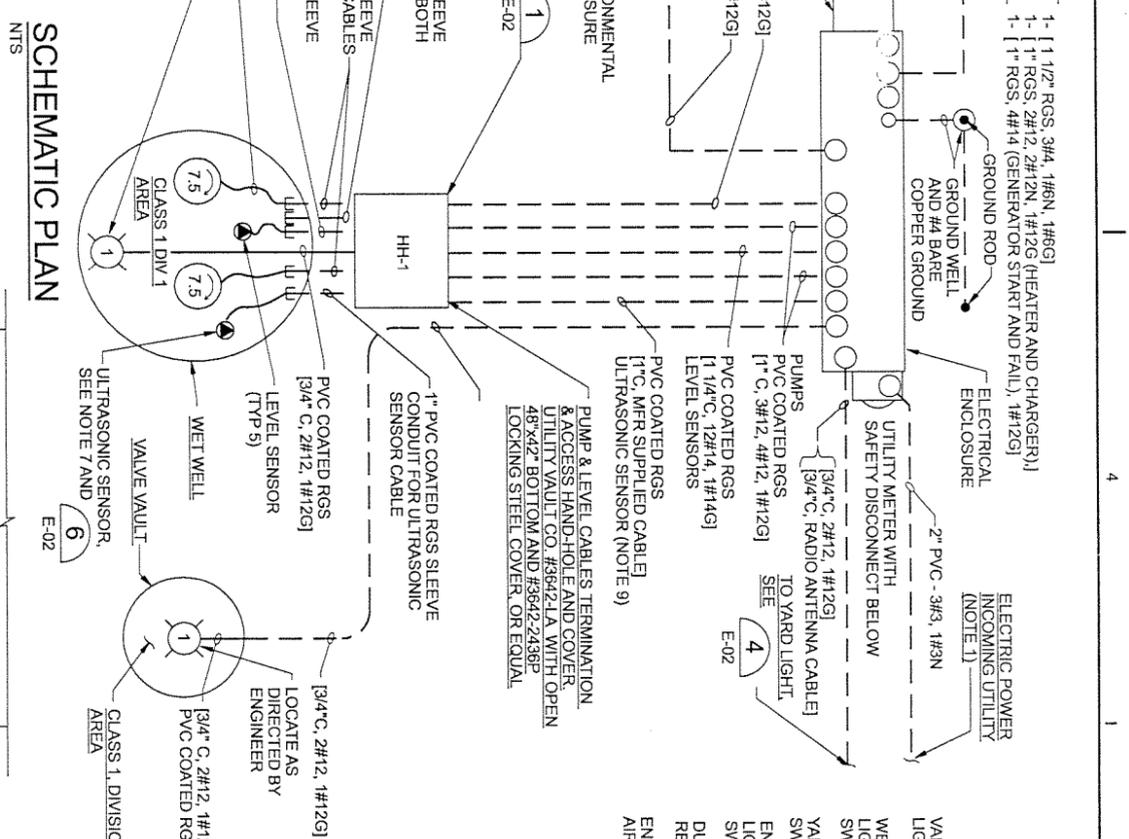
- NOTES:
- COORDINATE WITH PUGET SOUND ENERGY REGARDING THE LOCATION AND DETAILED REQUIREMENTS FOR THE PUMP STATION POWER SUPPLY. CONSTRUCT THE POWER SUPPLY AND CONFORM TO ALL PUGET SOUND ENERGY REQUIREMENTS.
 - EACH PUMP SHALL HAVE A NEMA RATED SOLID STATE SOFTSTART STARTER. PROVIDE INDIVIDUAL "THROUGH PANEL" OPERATING HANDLES FOR MOTOR CIRCUIT BREAKER DISCONNECTS.
 - NO PENETRATION OF ANY KIND THROUGH TOP OF ELECTRICAL ENCLOSURE. ROUTE CONDUITS (MOST NOT SHOWN) THROUGH BOTTOM OF ENCLOSURE.
 - INSTALL SIGN INSIDE OF ENCLOSURE "WARNING! SYSTEM IS SUPPLIED BY A BACKUP POWER SYSTEM. OPENING MAIN BREAKER WILL NOT DISCONNECT POWER. MINIMUM 1" HIGH LETTERING.
 - AUTOMATIC TRANSFER SWITCH PROVIDED BY GENERATOR MANUFACTURER AND INSTALLED AND WIRED BY PANEL SHOP. CONNECT UTILITY AND GENERATOR NEUTRALS TO AITS NEUTRAL PAD.
 - SIZE CIRCUIT BREAKER DISCONNECTS PER SOFTSTART MANUFACTURERS RECOMMENDATIONS BUT NO SMALLER THEN 150% OF SOFT STARTER CURRENT RATING.
 - PROVIDE ULTRASONIC SENSOR WITH SUFFICIENT CABLE TO REACH ELECTRICAL ENCLOSURE. DO NOT SPLICE IN HH-1 JUNCTION BOX BUT PROVIDE A LOOP FOR FUTURE SPLICING.

PANEL: MPC-1									
VOLTAGE: 480-120/240		PANEL BUS: 100 AMPS		SERVICE RATED: NO					
PHASE WIRES: 1, 3		MAIN: 20/30 BREAKER		NEUTRAL: BONDED					
SCR (AMPS): 14,000		125% OF MAX BUS LOAD: 24 AMPS		MOUNTING: SURFACE					
SOURCE: AITS-MPC-5KVA		TOTAL LOAD: 3.6 KVA		FEED: TOP/BOTTOM					
DESCRIPTION	KVA	CB	CKT	A	B	CKT	CB	KVA	DESCRIPTION
SITENWET WELL/VALVE VAULT LIGHTS	0.30	15/1	1	4.2		2	15/1	0.20	AUTO DIALER
GENSET BLOCK HEATER	0.50	15/1	3	8.3	4	15/1	0.50	ENCLOSURE HEATER	
GENSET BATTERY CHARGER	0.20	15/1	5	3.2	6	15/1	0.18	ENCLOSURE RECP.T.	
ENCLOSURE LIGHT	0.25	15/1	7		8	20/1	0.50	FUTURE HOIST	
ENCLOSURE AIR COND.	0.50	20/2	9	4.2	10	20/1	0.06	ENVIRONMENTAL ENCLOSURE HEATER	
			11		12	20/1		SPARE	
TOTALS	11.5		11.5	18.8		12		AMPS	

PANEL DETAIL



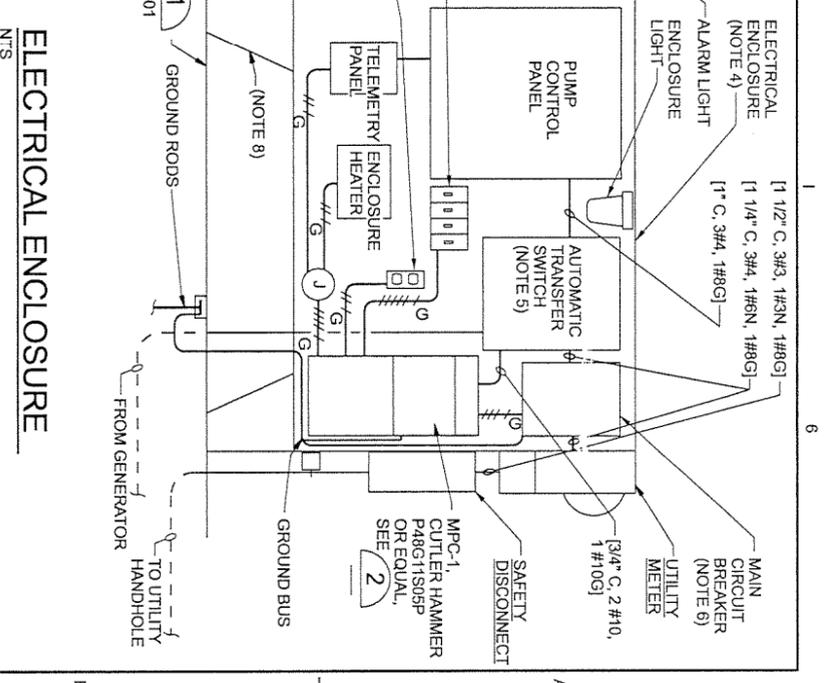
SCHEMATIC PLAN



CONCRETE BASE DETAIL



ELECTRICAL ENCLOSURE



LEGEND

SYMBOL	DESCRIPTION
	CONNECTION POINT TO EQUIPMENT SPECIFIED, FURNISHED AND INSTALLED UNDER OTHER SECTIONS, RACEWAYS, CONDUIT, AND CONNECTIONS UNDER THIS SECTION.
	MOTOR SQUIRREL CAGE, INDUCTION; HORSEPOWER INDICATED.
	EXPOSED CONDUIT AND CONDUCTORS
	CONCEALED CONDUIT AND CONDUCTORS
	CONDUIT UP
	CONDUIT DOWN
	CONDUIT STUBBED AND CAPPED AS SHOWN
	RECEPTACLE, SPECIAL PURPOSE, AMPERAGE AS INDICATED
	JUNCTION BOX, NEMA 1 ENCLOSURE, UNLESS INDICATED OTHERWISE. LETTER SYMBOLS OR ABBREVIATIONS INDICATE TYPE OF DEVICE.
	EP - EXPLOSION PROOF.
	SOLID STATE "SOFT START"
	MAGNETIC STARTER WITH NEMA SIZE INDICATED
	CIRCUIT BREAKER, MAGNETIC TRIP ONLY. FRAME SIZE SHOWN. SPOOL, UNLESS INDICATED OTHERWISE.
	CIRCUIT BREAKER, THERMAL MAGNETIC TRIP SHOWN. 3 POLE UNLESS INDICATED OTHERWISE.
	GROUND WELL. 10" ID X 12" CAST IRON GROUND ROD WELL PROTECTING A 3/4" X 10'-COOPER COATED GROUND ROD.
	TWO #12 WIRES WITH A GROUND, FOUR #12 WIRES WITH A GROUND, EXPLOSION PROOF INCANDESCENT FIXTURE, MEDIUM SCREW BASE.

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DESIGN: W. D. BADGELEY
 DR: K. R. WEIGUM
 CHK: W. D. BADGELEY
 APPROV: M. H. VANDERAA

EXPIRES: 9/22/27

NO. DATE REVISION

NO. DATE

BY APPROV

NO. DATE

CITY OF SEDRO-WOOLLEY, WASHINGTON

PHASE 2
SR-20 SEWER SYSTEM IMPROVEMENTS

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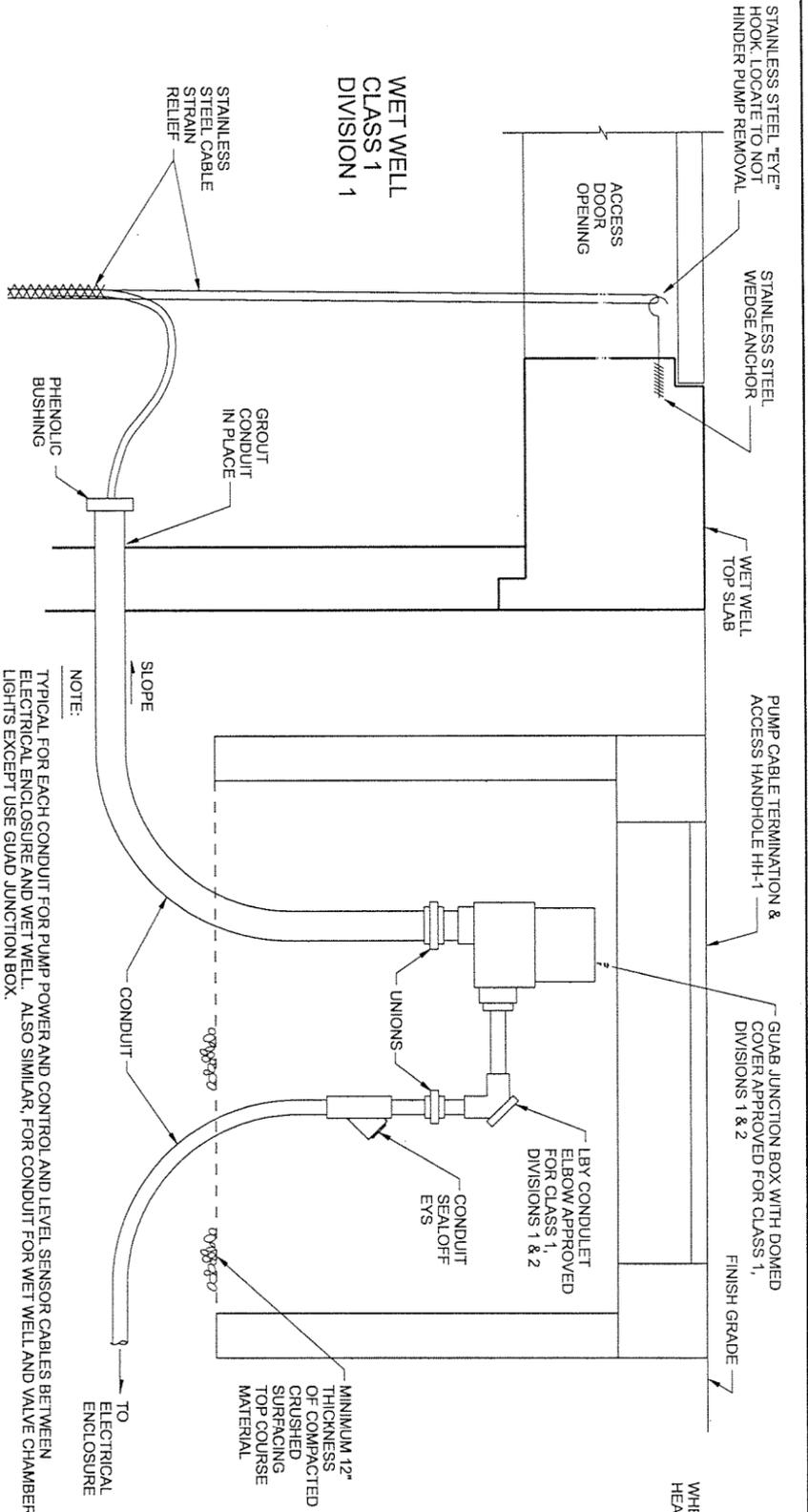
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HOLT CAMP PUMP STATION
ELECTRICAL PLAN

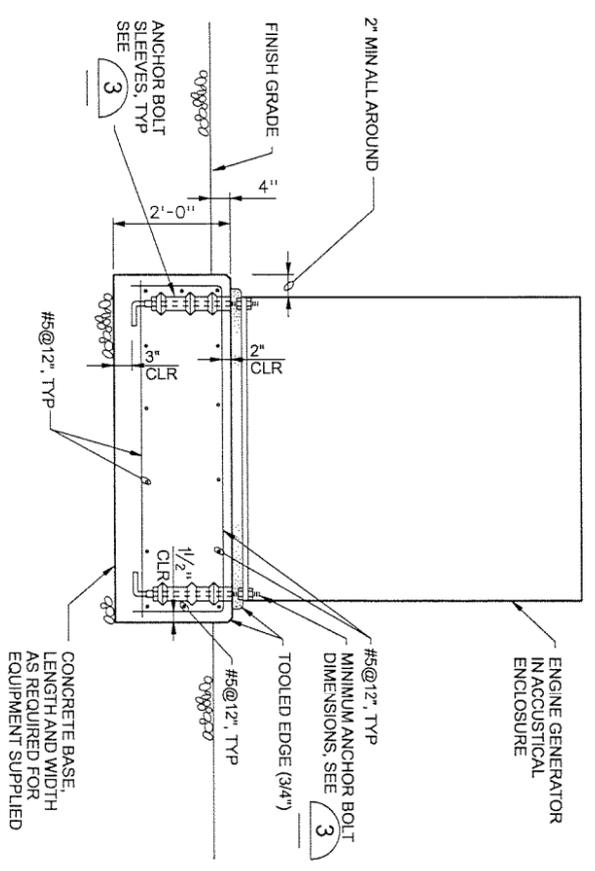
SHEET 33 of 36
 DWG NO. E-01
 DATE AUG. 2007
 PROJ 161052.A3

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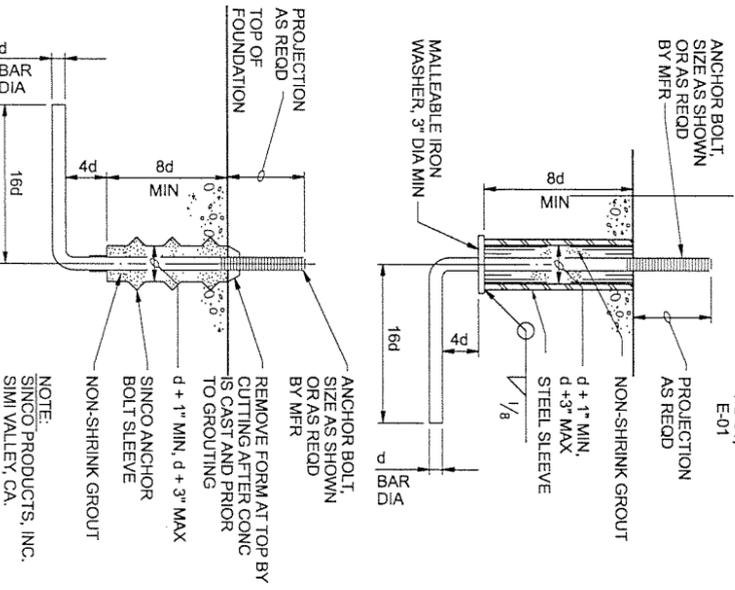
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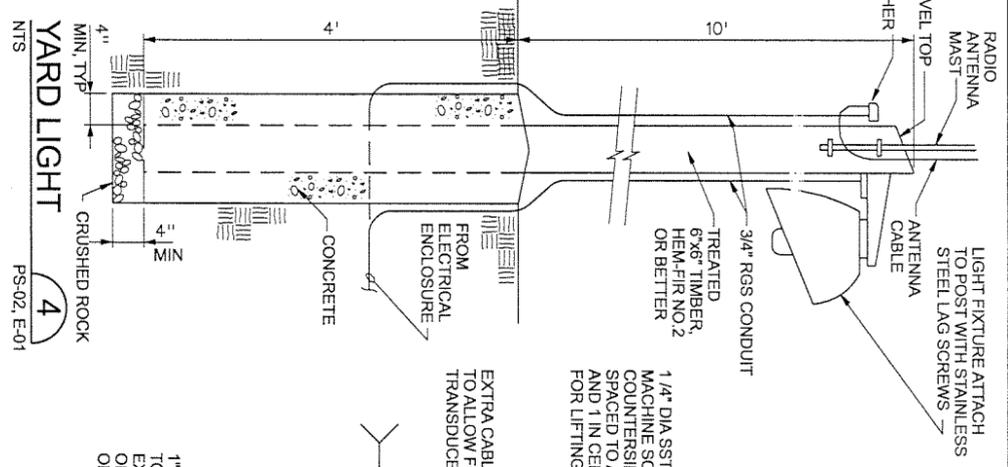
TYPICAL MOTOR POWER AND SENSOR CABLE TERMINATION AND ACCESS
 NOT TO SCALE
 PS-01, E-01



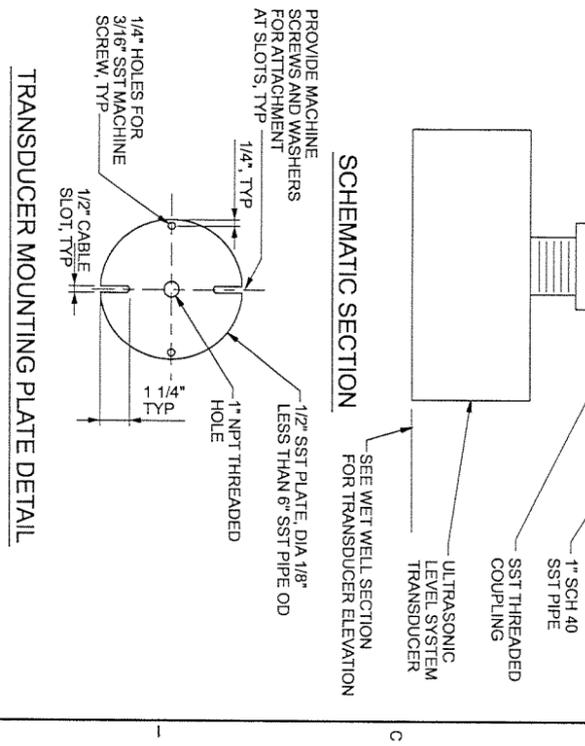
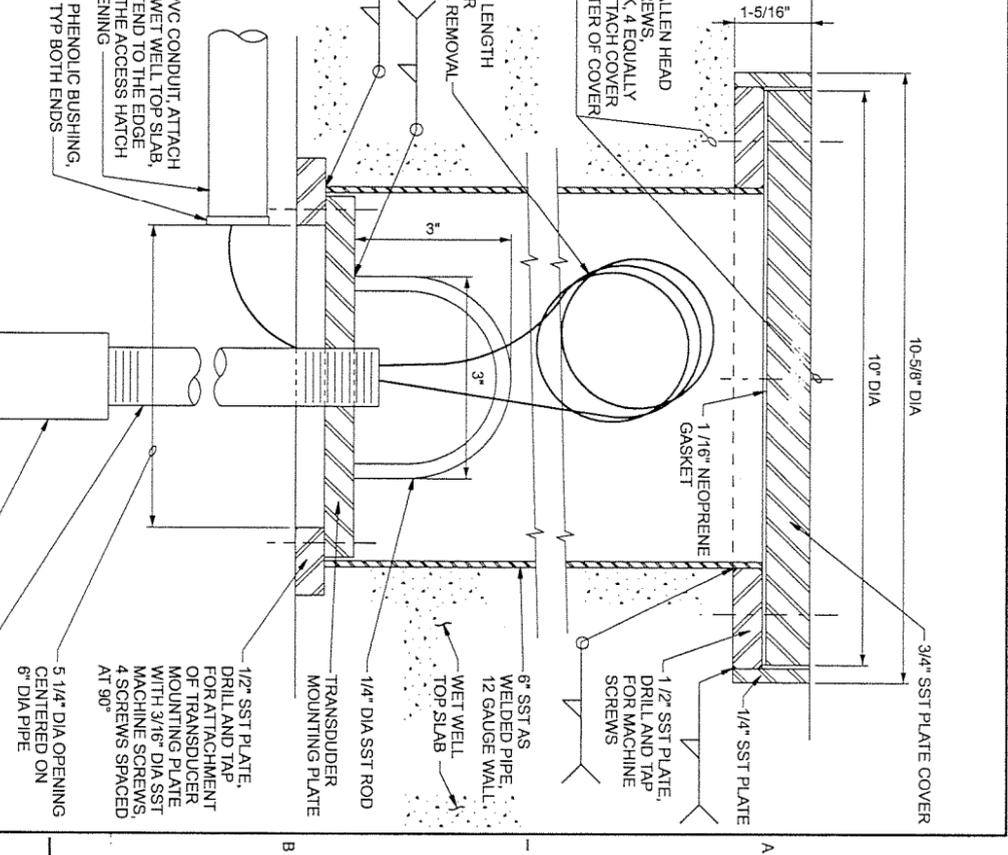
ENGINE GENERATOR DETAIL
 NTS
 PS-02



ANCHOR BOLT DETAIL
 NTS
 E-10, E-02



TYPICAL ELECTRICAL CONDUIT INSTALLATION SCHEMATIC
 NTS
 PS-01



ULTRASONIC LEVEL TRANSDUCER INSTALLATION DETAIL
 NTS
 PS-04, PS-05, E-01



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W. D. BADGELEY	K. R. WEIGUM	W. D. BADGELEY	M. H. VANDERAA					



SEDRO-WOLLEY

VERITY SCALE	CITY OF SEDRO-WOLLEY, WASHINGTON
0 = NOT ONE INCH ON THIS PROJECT 1" = ONE INCH ON THIS PROJECT	PHASE 2 SR-20 SEWER SYSTEM IMPROVEMENTS

PROJECT	DATE	PLANT	DATE
HOLT CAMP PUMP STATION ELECTRICAL DETAILS	AUG. 2007	8/7/2007	

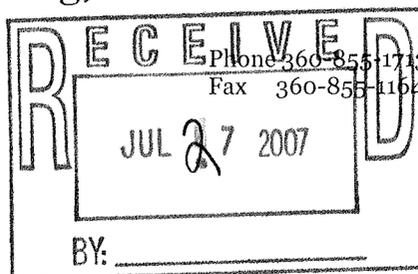
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SHEET	DWG	DATE	PROJ
34 of 36	E-02	AUG. 2007	181092.A3

Reichhardt & Ebe Engineering, Inc.

Consulting Engineers

813 Metcalf Street
Sedro-Woolley, WA 98284



July 27, 2007

City of Sedro-Woolley
720 Murdock Street
Sedro-Woolley, Washington, 98284

Attn: Mr. Eron Berg, City Supervisor / Attorney

Re: Construction Services
State Route 20 - F&S Grade Road Intersection Improvements Project, Phase 1

Dear Mr. Berg:

Thank you for the opportunity to provide the City of Sedro-Woolley this *preliminary* proposal for Construction Management services for the above-mentioned project. It is our understanding that the plans, specifications and engineer's estimate are nearing completion. Because the contract documents have not been finalized, we are unable to prepare a more-precise proposal for your review and discussion. Upon receiving final contract documents we will be able to finalize this proposal.

Attached are the following documents for your review:

- Exhibit A, Preliminary Scope of Work
- Exhibit B, Preliminary Man Hour Estimate

I look forward to discussing this information with you at your convenience.

Respectfully,

A handwritten signature in cursive script, appearing to read "James L. Hobbs, Jr.".

James L. Hobbs, Jr. P.E.
Reichhardt & Ebe Engineering, Inc.

EXHIBIT A

PRELIMINARY SCOPE OF WORK REICHHARDT & EBE

CONSTRUCTION SERVICES FOR THE STATE ROUTE 20 - F&S GRADE ROAD INTERSECTION IMPROVEMENTS PROJECT

During the term of this Agreement, the engineering consultant (CONSULTANT) shall perform professional services for the City of Sedro-Woolley Public Works (CITY), including construction management in connection with the:

State Route 20 - F&S Grade Road Intersection Improvements Project

This document shall be used to plan, conduct and complete the work on the PROJECT.

I. BACKGROUND

The State Route (SR) 20 - F&S Grade Road intersection improvements contract is REV funded project that will be constructed in two phases.

Phase 1 will improve the SR 20 - F&S Grade Rd. intersection to accommodate a new access to the Skagit Manufacturing site at F&S Grade Rd. Phase 1 will construct a new right-in/right-out entry on the north side of the Skagit Manufacturing site. Phase 1 will also construct a stormwater detention and water quality facility to accommodate the ultimate build-out of Phase 1 and Phase 2.

Phase 2 will install a traffic signal at F&S Grade Rd. Phase 2 will also widen and re-align SR 20 from F&S Grade Rd. around Bendix Corner.

II. PROJECT DESCRIPTION

The work to be performed by the CONSULTANT consists of providing construction administration for the **Phase 1** of the SR 20 - F&S Grade Rd. Intersection Improvements Project. The work to be performed by the Consultant consists of submittal review, on-site observation, construction staking, materials testing, pay estimates preparation, cost tracking, schedule tracking, and the representation necessary to administer and manage the construction contract for the PROJECT to ensure that the work is constructed in accordance with the City-provided contract plans and specifications. Construction documentation will be prepared in accordance with the Washington Department of Transportation Local Agency Guidelines (LAG) Manual.

TASK 1 – ASSISTANCE DURING BID PERIODS

Assumptions:

The City will enter into a Construction support agreement with the project design engineer to respond to requests for information (RFI), provide construction engineering for changes in conditions, and review and approval of request for approval of materials (RAM) for materials that will be incorporated into the project.

The CONSULTANT will attend the pre-bid meeting. Consultant will not prepare meeting agenda nor administer the meeting. City or City's Project Engineer will run meeting.

1. SPECIFIC ACTIVITIES

- ◆ The CONSULTANT shall be 'on-call' until the contract has been awarded to the successful bidder. The types of assistance that the CONSULTANT shall provide to the CITY during the pre-bid and bid periods of the PROJECT may include:
 - a) Evaluating the bids.
 - b) Providing a recommendation on award of the contract.

2. PRODUCTS

- ◆ Certified Bid Tabulation
- ◆ Recommendation to Award

TASK 2 – PROJECT MANAGEMENT/ADMINISTRATION

1. SPECIFIC ACTIVITIES

- ◆ Develop PROJECT documentation system and tracking systems for submittals, RFI's, change orders, correspondence and PROJECT contacts.
- ◆ Participate in coordination meetings with the Contractor, the CITY, and consultants. Meetings will be scheduled in advance and shall occur on an as needed basis.
- ◆ Coordinate and track Contractor transmittal of submittals and Requests for Information and report status at coordination meetings. RFI's and RAM's will be forwarded to the City's Project Engineer for review. Additional written comments to Contractor submittals and RFI's may be necessary to state the appropriate course of action to be taken.
- ◆ Review monthly progress payments submitted by Contractor and transmit to the CITY for payment.
- ◆ Prepare and maintain supporting documentation for the invoices.
- ◆ Coordination of CONSULTANT PROJECT staff and subconsultant efforts.
- ◆ Preparation of subconsultant contracts and amendments.
- ◆ Documentation of expenditures on each Task, showing the hours worked by PROJECT personnel and other direct expenses related to the Tasks.

PROJECT Management/Progress Meetings -This Task will include meetings or conference calls between the CITY and the CONSULTANT to discuss PROJECT management issues, including satisfaction of the CITY, budget, schedule, project direction, coordination, and changes. The Task will also include meetings at CONSULTANT'S office with key members of the CONSULTANT PROJECT team to discuss current activities, track progress, identify issues and decisions required to maintain progress, coordinate the work, and obtain information from team members.

2. PRODUCTS

- ◆ PROJECT documentation system and database.
- ◆ Meeting agenda and minutes of preconstruction and coordination meetings.
- ◆ Database reports of outstanding submittals, RFI's, and change orders for distribution at PROJECT meetings for discussion.

TASK 3 – CONSTRUCTION MANAGEMENT/INSPECTION

1. SPECIFIC ACTIVITIES

- ◆ Act as daily point of contact with the Contractor and monitor progress and quality of work on a daily basis.
- ◆ Assemble all documentation required to issue changes to the contract. Prepare cost estimates, justification for change, prepare letters to Contractor issuing proposed change orders and requesting cost proposals, lead change order negotiations with the Contractor, prepare negotiation notes, prepare NTP letters and letters confirming negotiated prices. Prepare amendment to Contractor's contract for transmittal to the CITY.
- ◆ Prepare progress estimates for payment to Contractor
- ◆ Review specifications and drawing requirements. Maintain an up-to-date PROJECT manual.
- ◆ Prepare and respond to all PROJECT correspondence with the Contractor and City.
- ◆ Resolve day-to-day PROJECT issues, as well as design and contract issues with the engineer, Contractor and CITY.
- ◆ Assist in Claim Evaluation
- ◆ Maintain updated record drawings.
- ◆ Monitor PROJECT costs (actual versus budget)
- ◆ Review Contractor's baseline schedules. Maintain schedule updates and review and monitor Contractor's CPM schedule. Provide and maintain as-built schedules and record calendar days during contract work.
- ◆ Insure that environmental, property owner, and Agency commitments are addressed
- ◆ Document compliance for all Agency contract requirements
- ◆ Coordination and communication with Agency
- ◆ Preparation of Record Drawings

2. PRODUCTS

- ◆ Written documentation pertaining to PROJECT issues
- ◆ Schedule updates
- ◆ As-built schedules maintained at PROJECT office

TASK 4 – CONSTRUCTION SURVEYING

1. SPECIFIC ACTIVITIES

- ◆ Manage the performance of construction surveyor. Surveying will be performed by a licensed land surveyor. Construction surveying provided as part of the construction management contract shall include but is not limited to:
 - a) Centerline staking
 - b) Offset stakes, grade hubs and cut sheets for sanitary sewer mains and structures
 - c) As-built survey

2. PRODUCTS

- ◆ Cut sheets
- ◆ As-built point data

TASK 5 – TESTING SERVICES

1. SPECIFIC ACTIVITIES

- ◆ Manage the performance of quality control testing. Testing will be performed on an as-needed basis by an accredited testing laboratory. Quality control testing services provided as part of the construction management contract shall include but is not limited to:
 - d) Soil materials testing
 - e) Proctor analysis and in-place density testing for backfill operations.
 - f) Hot mix asphalt testing
 - g) Concrete compression tests (supplemental testing not specified in construction contract to be provided by Contractor).

2. PRODUCTS

- ◆ Written test results for all tests conducted.

TASK 5 – INSPECTION SERVICES

1. SPECIFIC ACTIVITIES

- ◆ Inspect work methods and products; verify compliance with PROJECT contract plans and specifications.
- ◆ Inspect materials; verify compliance with PROJECT contract plans and specifications.
- ◆ Inspect equipment; verify compliance with approved submittals and PROJECT contract plans and specifications.
- ◆ Monitor schedule process.
- ◆ Coordination of work with adjacent property owners.
- ◆ Coordination with utility companies.
- ◆ Point of contact for quality control testing services.
- ◆ Review required wage rates and conduct employee wage interviews.
- ◆ Coordinate construction survey requirements
- ◆ Prepare inspection correspondence, records and reports.
- ◆ Verify permit compliance.

- ◆ Develop punch lists.

2. PRODUCTS

- ◆ Daily inspection report on quality compliance.
- ◆ Quality Control test reports
- ◆ Punch lists

TASK 6 – PROJECT CLOSEOUT

1. SPECIFIC ACTIVITIES

- ◆ Conduct final inspection with the CITY and PROJECT Designer to establish final punch list.
- ◆ Monitor and verify completion of punch list items and issue substantial completion to Contractor.
- ◆ Verify submittal of specified warranties and coordinate warranty issues.
- ◆ Coordinate transmittal of Contractor's as-built information to the CITY.
- ◆ Prepare Certified As-Built Drawings
- ◆ Transmit recommendation of final completion letter to the CITY.

2. PRODUCTS

- ◆ Issuance of Letter of Substantial Completion with final punch list.
- ◆ Issuance of one mylar set, two paper sets, and 1 disk of final As-Built drawings to the CITY along with a master drawing list.
- ◆ Issuance of Final Completion letter to the CITY.

**Exhibit B
Preliminary Man-hour Estimate**

CITY OF SEDRO-WOOLLEY
State Route 20 - F&S Grade Road Intersection Improvements
Construction Contract Administration and Inspection

Date: July 27, 2007

Item	Description	Prime Consultant					Sub Consultant	
		Principal	Project Engineer	Field Inspector	Administrative	CADD	Material Testing	Surveying
1.0 Construction Contract Administration and Inspection								
1.4	Bid opening	1	2	0	0	0		
1.5	Bid Tabulation	0	4	0	4	0		
1.6	Award and Contract	2	6	0	6	0		
1.7	Preconstruction Meeting	2	4	2	1	0		
1.8	Process Submittals	2	10	0	8	0		
1.9	Weekly construction meetings	6	48	32	20	0		
	Coordinate with WSDOT	5	10	0	3	0		
	Coordinate with BNSF	5	14	0	3	0		
1.10	Schedule staking, testing and utility co. work	6	12	4	0	0		
1.11	Inspection	6	64	658	30	0		
1.12	Special Inspection	0	12	10	0	8	\$10,000.00	
1.13	Response to public concerns and complaints	4	28	10	8	0		
1.14	Preparation of Pay Estimates	5	20	10	10	0		
1.15	Construction Survey	0	16	30	0	16		\$17,500.00
1.16	Project Close-out	6	24	10	30	0		
1.17	As-built Drawings	2	6	4	1	10		
	SUBTOTAL	52	280	770	124	34	\$10,000.00	\$17,500.00
	Billing Rates	\$100.47	\$66.51	\$77.83	\$41.04	\$66.51		
	TOTAL	\$5,224.44	\$18,622.80	\$59,929.10	\$5,088.96	\$2,261.34	\$10,000.00	\$17,500.00

Reimbursables: Repographics	\$350.00
------------------------------------	-----------------

TOTAL	\$118,976.64
--------------	---------------------

Eron,

I spoke with Harry Haslam yesterday regarding the City's project and the ideas that were discussed with WSDOT representatives from the Mount Baker office during our meeting with them last Friday, August 10. During this meeting, it was generally concluded that the project as currently designed does not provide the desired left turn in or out access from the proposed north access of the Skagit Industrial Park. Therefore the original intent of the REV grant funds, which was to improve access to the Skagit Industrial Park, would not be met with the Phase 1 of the project. Phase 1 construction costs roughly total \$1.7 million.

When Phase 2 for this project was implemented, a new traffic signal to provide the desired type of north end access and another traffic signal to improve the safety at F&S Grade Road could both be added. It was discussed that in order to now apply for a traffic signal permit from WSDOT, a roundabout analysis is needed to determine the viability of a roundabout at the same location. If a roundabout was concluded to be more viable than a traffic signal at either or both intersections (north access and F&S Grade road), then the decision to construct a wider than necessary three-lane section as part of Phase 1 would be questionable.

Constructing a roundabout at the north access location would provide the desired left turn access movements for both the Skagit Industrial Park to the south or SR 20 and for the Rimmer Industrial Park to the north of SR 20. Coordination for the necessary right-of-way and roadway approach configuration with each site owner would be required.

Another potential advantage to constructing two separate roundabout intersections is the likelihood that the existing alignment around the Bendix curve would not need to be significantly realigned and could likely stay within the existing right-of-way due to the desire to keep roundabout entry speeds relatively low. The SR 20 roadway realignment previously required by WSDOT in order to install a traffic signal at F&S Grade (and which is also anticipated if a signal were installed at the north end access) to accommodate a 35 mph design speed curve would require the acquisition of right-of-way from the Skagit Industrial Park. This requirement was determined by the owner of that parcel to be a very undesirable for his business.

Despite the potential benefits of redefining the project to include two roundabouts at the intersections, Harry wasn't very optimistic about the City's chances for receiving another extension of time from the CERB in an effort to maintain the REV funds. Some primary reasons are that this grant application was awarded in December 1999 and that the City has asked for an extension or provided explanations regarding the status of the project twice before (2004 and 2006). In addition, this project is the last one to not have been built with the REV funds.

We also discussed that there is no real way of knowing the result of the request without asking for it. If the City were to make the time extension request, he suggested that it should prepared a solid plan that includes a schedule, commitment letters from the City, stakeholders such as Skagit and Rimmer Industrial Parks and if possible from WSDOT Mount Baker Region, and funding sources outside of the REV grant. I would also suggest that a fairly comprehensive concept plan layout be useful in this case in an effort to achieve many of those commitment letters. There was also the discussion of appealing to a higher jurisdictional authority in order to make the case if necessary.

The REV grant totals \$363,300. STP Regional funds via SCOG which have also been obligated total \$332,279.

I have attached for your consideration a copy of a channelization plan that DEA developed for three new roundabouts on SR 202 in Woodinville which was recently approved by WSDOT. The general layout is similar in nature to the alignment of SR 20 and illustrates that the two roundabout system we discussed the other day has true merit and is worthy of the City's efforts to have implemented.

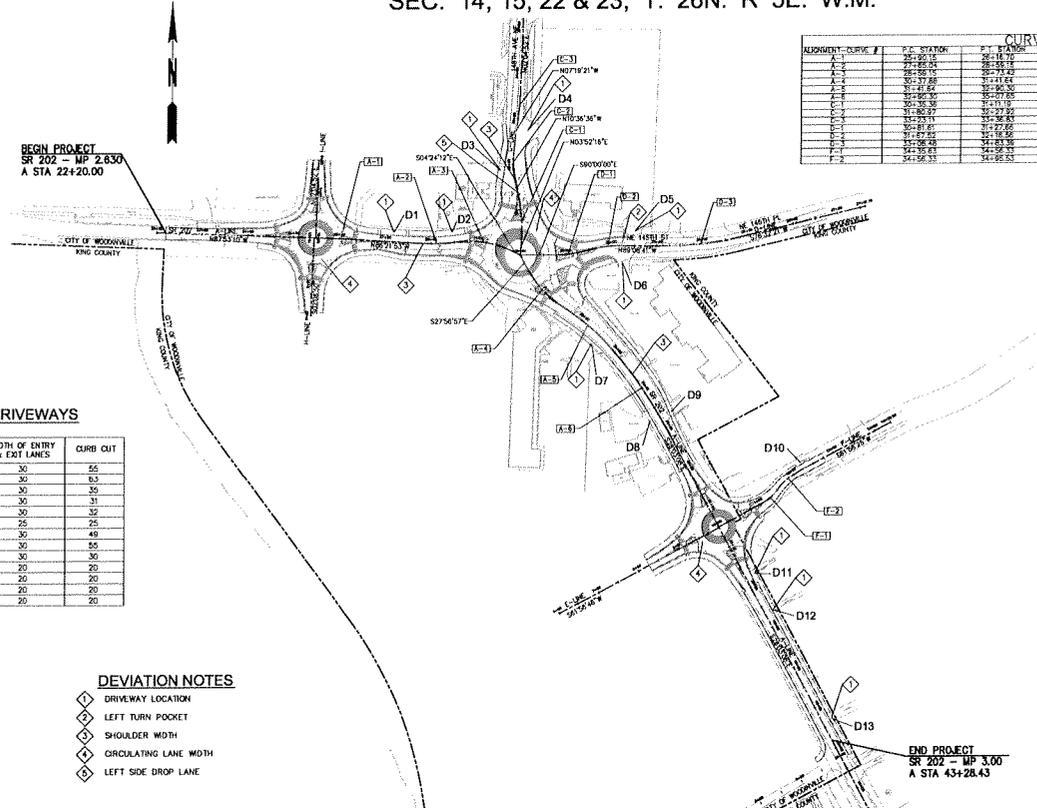
I will be out of the office for a couple of days, but would be happy to discuss these issues further when I return on Monday.

- Kirk

Kirk A. Harris, P.E.
Project Manager
David Evans and Associates, Inc.
kaha@deainc.com
425-586-9782 Direct
425-519-6500 Office
425-519-5361 Fax

SEC. 14, 15, 22 & 23, T. 26N. R 5E. W.M.

ALIGNMENT CURVE #	P.C. STATION	P.T. STATION	P.I. STATION	DELTA	RADIUS	TANGENT	LENGTH
1-1	242+90.05	261+16.70	252-03.33	60°31'18"	1000.00'	11.25'	26.57'
1-2	222+85.04	222+85.04	222+85.04	0°00'00"	1000.00'	0.00'	0.00'
1-3	265+92.86	257+74.42	261-16.70	57°44'57"	200.00'	20.28'	104.27'
2-1	301+21.85	311+14.64	306-16.76	67°44'57"	200.00'	20.28'	104.27'
2-2	311+21.85	321+90.25	316-56.55	67°44'57"	200.00'	20.28'	104.27'
2-3	321+90.25	331+63.65	326-27.15	67°44'57"	200.00'	20.28'	104.27'
2-4	331+63.65	341+37.05	337-14.35	67°44'57"	200.00'	20.28'	104.27'
2-5	341+37.05	351+10.45	344-07.75	67°44'57"	200.00'	20.28'	104.27'
2-6	351+10.45	360+83.85	355-81.15	67°44'57"	200.00'	20.28'	104.27'
2-7	360+83.85	370+57.25	366-54.55	67°44'57"	200.00'	20.28'	104.27'
2-8	370+57.25	380+30.65	377-27.95	67°44'57"	200.00'	20.28'	104.27'
2-9	380+30.65	390+04.05	388-01.35	67°44'57"	200.00'	20.28'	104.27'
2-10	390+04.05	399+77.45	398-74.75	67°44'57"	200.00'	20.28'	104.27'
2-11	399+77.45	409+50.85	409-48.15	67°44'57"	200.00'	20.28'	104.27'
2-12	409+50.85	419+24.25	420-21.55	67°44'57"	200.00'	20.28'	104.27'
2-13	419+24.25	428+97.65	430-94.95	67°44'57"	200.00'	20.28'	104.27'
2-14	428+97.65	438+71.05	441-68.35	67°44'57"	200.00'	20.28'	104.27'
2-15	438+71.05	448+44.45	452-41.75	67°44'57"	200.00'	20.28'	104.27'
2-16	448+44.45	458+17.85	463-15.15	67°44'57"	200.00'	20.28'	104.27'
2-17	458+17.85	467+91.25	473-88.55	67°44'57"	200.00'	20.28'	104.27'
2-18	467+91.25	477+64.65	484-61.95	67°44'57"	200.00'	20.28'	104.27'
2-19	477+64.65	487+38.05	495-35.35	67°44'57"	200.00'	20.28'	104.27'
2-20	487+38.05	497+11.45	506-08.75	67°44'57"	200.00'	20.28'	104.27'
2-21	497+11.45	506+84.85	516-82.15	67°44'57"	200.00'	20.28'	104.27'
2-22	506+84.85	516+58.25	527-55.55	67°44'57"	200.00'	20.28'	104.27'
2-23	516+58.25	526+31.65	538-28.95	67°44'57"	200.00'	20.28'	104.27'
2-24	526+31.65	536+05.05	549-02.35	67°44'57"	200.00'	20.28'	104.27'
2-25	536+05.05	545+78.45	559-75.75	67°44'57"	200.00'	20.28'	104.27'
2-26	545+78.45	555+51.85	570-49.15	67°44'57"	200.00'	20.28'	104.27'
2-27	555+51.85	565+25.25	581-22.55	67°44'57"	200.00'	20.28'	104.27'
2-28	565+25.25	574+98.65	591-95.95	67°44'57"	200.00'	20.28'	104.27'
2-29	574+98.65	584+72.05	602-69.35	67°44'57"	200.00'	20.28'	104.27'
2-30	584+72.05	594+45.45	613-42.75	67°44'57"	200.00'	20.28'	104.27'
2-31	594+45.45	604+18.85	624-16.15	67°44'57"	200.00'	20.28'	104.27'
2-32	604+18.85	613+92.25	634-89.55	67°44'57"	200.00'	20.28'	104.27'
2-33	613+92.25	623+65.65	645-62.95	67°44'57"	200.00'	20.28'	104.27'
2-34	623+65.65	633+39.05	656-36.35	67°44'57"	200.00'	20.28'	104.27'
2-35	633+39.05	643+12.45	667-09.75	67°44'57"	200.00'	20.28'	104.27'
2-36	643+12.45	652+85.85	677-83.15	67°44'57"	200.00'	20.28'	104.27'
2-37	652+85.85	662+59.25	688-56.55	67°44'57"	200.00'	20.28'	104.27'
2-38	662+59.25	672+32.65	699-29.95	67°44'57"	200.00'	20.28'	104.27'
2-39	672+32.65	682+06.05	710-03.35	67°44'57"	200.00'	20.28'	104.27'
2-40	682+06.05	691+79.45	720-76.75	67°44'57"	200.00'	20.28'	104.27'
2-41	691+79.45	701+52.85	731-50.15	67°44'57"	200.00'	20.28'	104.27'
2-42	701+52.85	711+26.25	742-23.55	67°44'57"	200.00'	20.28'	104.27'
2-43	711+26.25	721+00.65	752-96.95	67°44'57"	200.00'	20.28'	104.27'
2-44	721+00.65	730+74.05	763-70.35	67°44'57"	200.00'	20.28'	104.27'
2-45	730+74.05	740+47.45	774-43.75	67°44'57"	200.00'	20.28'	104.27'
2-46	740+47.45	750+20.85	785-17.15	67°44'57"	200.00'	20.28'	104.27'
2-47	750+20.85	760+00.00	796-00.00	67°44'57"	200.00'	20.28'	104.27'



DRIVEWAYS

	WIDTH OF ENTRY & EXIT LANES	CURB CUT
D1	30	55
D2	30	63
D3	30	30
D4	30	31
D5	30	32
D6	25	25
D7	30	40
D8	30	50
D9	30	30
D10	20	20
D11	20	20
D12	20	20
D13	20	20

DEVIATION NOTES

- ◇ DRIVEWAY LOCATION
- ◇ LEFT TURN POCKET
- ◇ SHOULDER WIDTH
- ◇ CIRCULATING LANE WIDTH
- ◇ LEFT SIDE DROP LANE

CHANNELIZATION NOTES

- 1 DOUBLE YELLOW CENTERLINE
- 2 YELLOW EDGE LINE
- 3 WHITE EDGE LINE
- 4 YIELD LINE
- 5 DOTTED WIDE LINE
- 6 WIDE LINE
- 7 SKIP CENTERLINE

LEGEND

--- RIGHT OF WAY

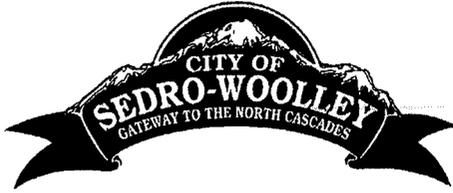
WSDOT NORTHWEST REGION
CHANNELIZATION PLAN

TRAFFIC ENGINEER - AREA OPERATIONS
Signed: _____ Date: _____
Print: _____
ENGINEERING MANAGER
Signed: _____ Date: _____
Print: _____

DAVID EVANS
ASSOCIATES, INC.
415 - 118th Avenue SE
Burien, WA 98148
Phone: 425.219.8500

0 100 200
SCALE IN FEET

FILE NAME: 08/13/07 10:40am - F:\W0000000012\0400CAD\T\DWG\Sheets\WSDOT CHAN\TTC001\W0000000000012.dwg	REGION: 10 WASH	STATE: WASH	FED. AID PROJ. NO.	SR 202	MP 2.53 TO MP 3.00	PLOT1
DESIGNED BY: V. VASKELIS	ENTERED BY: O. AHRENSFELD	CHECKED BY: J. TAYLOR	PROJ. ENGR: J. TAYLOR	REGIONAL ADM.:	REVISION:	DATE:
DATE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
Washington State Department of Transportation			SR 202 ROUNDABOUTS SAMMAMISH RIVER BRIDGE TO NE 141st ST. KING COUNTY FEBRUARY 2007		CH1	
HORIZONTAL CONTROL PLAN					1 of 9	



CITY COUNCIL AGENDA
REGULAR MEETING

CITY OF SEDRO-WOOLLEY

Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 12

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
RE: Highway 20 sewer improvements
DATE: August 22, 2007

ISSUE: The City's Highway 20 sewer project is almost ready to bid and we are ready for the Council to authorize the project to be put out to bid.

BACKGROUND: A set of current plans is attached for your information. The final plans are pending a few small revisions from the electrical engineer. Significant changes have been made in the vicinity of Holtcamp Road. Also attached is the most recent engineer's estimate which shows this project construction costs at \$2,897,557.92. This amount does not include the design costs or the construction management costs.

We are anticipating going to bid in September with an award date in November and a construction time-frame of approximately 12 months which includes approximately 6 months of actual digging in the ground. You will be the body that awards the bid following the ad and bid process.

REQUEST FOR ACTION:

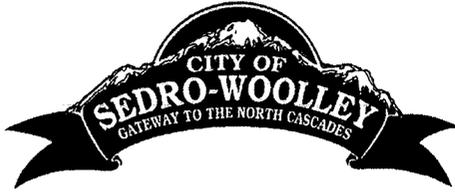
1. Motion to authorize the project to go to bid.

Date: 3/21/2007

ENGINEER'S ESTIMATE
CITY OF SEDRO WOOLLEY, WASHINGTON

PHASE 2 SR 20 SEWER IMPROVEMENTS

ITEM NO.	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENDED AMOUNT
1	Mobilization	1	LS	\$242,000.00	\$242,000.00
2	Temporary Traffic Control	1	LS	\$19,000.00	\$19,000.00
3	Temp. Erosion & Sediment Control (TESC)	1	LS	\$57,000.00	\$57,000.00
4	Construction Surveying	1	LS	\$22,000.00	\$22,000.00
5	Clearing And Grubbing	1	LS	\$17,000.00	\$17,000.00
6	Removal of Structure and Obstructions	1	LS	\$16,000.00	\$16,000.00
7	Pavement Removal	1	LS	\$88,000.00	\$88,000.00
8	Abandon Existing Sewers	3,690	LF	\$13.00	\$47,970.00
9	Abandon Existing Manholes	10	EA	\$610.00	\$6,100.00
10	Crushed Surfacing Base Course	70	TN	\$21.00	\$1,470.00
11	Crushed Surfacing Top Course	1,120	TN	\$25.00	\$28,000.00
12	HMA Cl. 1/2 PG 58-22 or 64-22	442	TN	\$110.00	\$48,620.00
13	Manhole 48 In. Diam.	20	EA	\$6,800.00	\$136,000.00
14	PVC Sewer Pipe, 6 In. Diam.	150	LF	\$101.00	\$15,150.00
15	PVC Sewer Pipe, 8 In. Diam.	3,434	LF	\$182.00	\$624,988.00
16	Connect Existing Force Main to MH 20-2-17	1	LS	\$6,500.00	\$6,500.00
17	PVC Sewage Force Main, 6 In. Diam.	1,369	LF	\$50.00	\$68,450.00
18	Air Valve Station	1	EA	\$8,800.00	\$8,800.00
19	Trench Safety Systems	1	LS	\$332,000.00	\$332,000.00
20	Exploratory Excavations	1	LS	\$15,300.00	\$15,300.00
21	Trench Safety Sytms for Exploratory Excavations	1	LS	\$400.00	\$400.00
22	Side Sewer Cleanouts	8	EA	\$800.00	\$6,400.00
23	Connect Existing Side Sewer to New Side Sewer	8	EA	\$2,200.00	\$17,600.00
24	Connect New 6" Force Main to Existing MH SR 20-2-3	1	LS	\$8,900.00	\$8,900.00
25	Connect New 4" Force Main to Existing Hospital Drive Pump Station Force Main	1	LS	\$2,100.00	\$2,100.00
26	Connect New 8" Sewer to Existing MH 18A	1	LS	\$4,800.00	\$4,800.00
27	Seeding, Fertilizing, and Mulching	6,800	SY	\$1.50	\$10,200.00
28	Temporary Erosion Control Blanket	1,300	SY	\$2.20	\$2,860.00
29	Lawn Removal and Restoration	3,780	SY	\$2.20	\$8,316.00
30	Preservation, Removal, and Restoration For Planting Areas	1	LS	\$4,000.00	\$4,000.00
31	Brickyard Creek Undercrossing	1	LS	\$24,000.00	\$24,000.00
32	Cased Pipe Installed by Auger Boring And Jacking	1	LS	\$29,000.00	\$29,000.00
33	Holtcamp Pump Station	1	LS	\$315,000.00	\$315,000.00
34	Trench Safety Systems for Holtcamp Pump Station	1	LS	\$71,000.00	\$71,000.00
35	Hospital Drive Pump Station	1	LS	\$255,000.00	\$255,000.00
36	Trench Safety Systems for Hospital Drive Pump Station	1	LS	\$73,000.00	\$73,000.00
37	Force Account	1	LS	\$50,000.00	\$50,000.00
SUM OF EXTENDED AMOUNTS					\$2,682,924.00
SALES TAX ON SUM OF EXTENDED AMOUNTS				8.0%	\$214,633.92
SUM OF EXTENDED AMOUNTS PLUS SALES TAX					\$2,897,557.92



CITY OF SEDRO-WOOLLEY
Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 12

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
FROM: Eron Berg
RE: School ROW use resolution
DATE: August 22, 2007

ISSUE: Should the Council adopt the attached resolution authorizing the SWSD to construct a fence on the Nelson Street right-of-way?

BACKGROUND: This is a follow up from the Council's prior discussion regarding school parking issues. This resolution authorizes the SWSD to use a portion of Nelson Street to construct a fence to contain the SWHS student parking lot.

RECOMMENDATION: Motion to approve the resolution.

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SEDRO-WOOLLEY AUTHORIZING THE
SEDRO-WOOLLEY SCHOOL DISTRICT TO UTILIZE A PORTION OF CITY RIGHT-OF-WAY

WHEREAS, the Sedro-Woolley School District has requested use of certain City rights-of-way for school use, and

WHEREAS, the Council desires to authorize the School District's use with certain restrictions and limitations;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Sedro-Woolley as follows:

1. The Sedro-Woolley School District is authorized to utilize the following portion of the City's right-of-way for school district purposes, including the construction of a fence for security, consistent with the conditions and requirements of this resolution:

The South six feet of Nelson Street between Walley Street and the Western edge of Third Street.

2. As a condition of accepting the use of the City rights-of-way identified herein, the Sedro-Woolley School Districts accepts the liability and responsibility for the actions of its officers, employees and students with regard to the use of the rights-of-way and agrees to indemnify and hold harmless the City of Sedro-Woolley, its officers and employees from any and all claims or suits that arise from the School District's use of these rights-of-way.

3. The City reserves the right to terminate the School District's use of the rights-of-way identified in this resolution and to require the School District to remove any structures built on the City's rights-of-way with ninety (90) days notice.

4. Nothing herein shall be construed to limit the City's access to the full width of its rights-of-ways for emergency purposes.

5. This resolution shall become effective after the Sedro-Woolley School District Board of Directors adopts a resolution accepting the terms and conditions and the City Clerk's office receives and files a copy of the SWSD resolution.

PASSED by the City Council of the City of Sedro-Woolley, Washington, and approved by its Mayor at a regular meeting of said Council held on the _____ day of August, 2007.

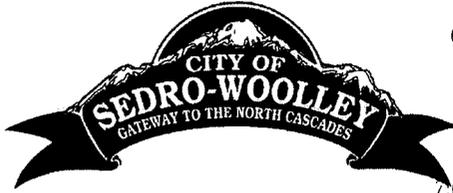
MAYOR

Attest:

City Clerk

Approved as to form:

City Attorney



CITY COUNCIL AGENDA
REGULAR MEETING

AUG 22 2007

7:00 P.M. COUNCIL CHAMBERS
AGENDA NO. 14

CITY OF SEDRO-WOOLLEY
Sedro-Woolley Municipal Building
720 Murdock Street
Sedro-Woolley, WA 98284
Phone (360) 855-1661
Fax (360) 855-0707

Eron M. Berg
City Supervisor/City Attorney

MEMO TO: City Council
RE: Proposed resolution declaring certain items surplus
DATE: August 22, 2007

ISSUE: Should the Council approve the attached resolution declaring a number of vehicles and items of personal property and authorizing the Mayor to sell/dispose of them?

BACKGROUND: All items on this list are no longer needed by the City and have been replaced as required.

RECOMMENDATION: Motion to approve the resolution.

RESOLUTION NO.

A RESOLUTION OF THE CITY OF SEDRO-WOOLLEY DECLARING CERTAIN PROPERTY AS SURPLUS AND AUTHORIZING ITS DISPOSITION

WHEREAS, the City has purchased the property and/or equipment identified herein; and

WHEREAS, the property and/or equipment identified is surplus to the needs of the City; now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SEDRO-WOOLLEY AS FOLLOWS:

Section 1. The City Council does hereby declare the following to be surplus:

VEHICLES:

<u>VIN</u>	<u>Year</u>	<u>Make</u>	<u>Model</u>	<u>Mileage</u>
1GTGC24N1ME505075	1991	GMC	pickup	141425

OTHER:

See attached list dated August 1, 2007 identifying 18 items from the WWTP.

Section 2. The Mayor is directed to sell the surplus property for the best available price in any manner he determines to be in the best interest of the City and execute any necessary paperwork to effectuate the transfer.

PASSED by majority vote of the members of the Sedro-Woolley City Council this 22nd day of August, 2007

Mike Anderson, Mayor

Attest:

Patsy Nelson, Clerk/Treasurer

Approved as to form:

Eron Berg, City Attorney

